

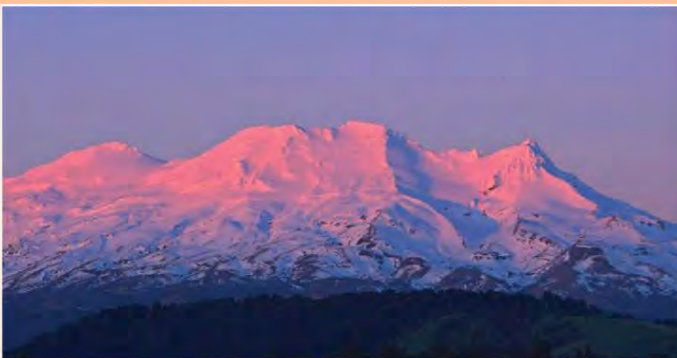


Waimarino-
Waiouru
Community
Board

Agenda

Thursday, 3
June 2021
at 6:00 PM

Council Chambers,
37 Ayr Street,
Ohakune





WAIMARINO-WAIOURU COMMUNITY BOARD

NOTICE OF MEETING

A MEETING OF WAIMARINO-WAIOURU COMMUNITY BOARD WILL BE HELD AT THE
COUNCIL CHAMBERS, 37 AYR STREET, OHAKUNE
ON THURSDAY, 3 JUNE 2021, AT 6:00PM

Members

Chairperson	John (Luigi) Hotter
Board Members	John Chapman Kay Henare Allan Whale
Councillors	Vivienne Hoeta Rabbit Nottage
Councillors (Non-voting)	Janelle Hinch Elijah Pue
Mayor (Non-voting)	Don Cameron

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Clive Manley
CHIEF EXECUTIVE

THE PUBLIC BUSINESS PART OF THE AGENDA IS LIVE STREAMED TO OUR
FACEBOOK PAGE

Roles and Powers of Community Boards

The Community Board has already been delegated the task of co-ordinating rural reserves and hall committees. It also has a major input into the development of Council's Long Term Plan.

The Community Board's prime objective is to be the interface between Council and the ratepayers and public of the Ward.

Role of Community Boards

The role of a Community Board is to (Section 52 Local Government Act 2002 [LGA]):

- (a) Represent and act as an advocate for the interests of the community.*
- (b) Consider and report on all matters referred to it by the territorial authority, or any other matter of interest or concern to the community board.*
- (c) Maintain an overview of services provided by the territorial authority within the community.*
- (d) Prepare an annual submission to the territorial authority for expenditure within the community.*
- (e) Communicate with community organisations and special interest groups within the community.*
- (f) Undertake any other responsibilities that are delegated to it by the territorial authority.*

Powers of Community Boards

A Community Board shall perform such functions and duties and exercise such powers as are delegated to it by Council from time to time.

Powers of Community Boards (Section 53 – LGA):

- 1 A community board has the powers that are:*
 - (a) Delegated to it by the relevant territorial authority in accordance with Clause 43 of Schedule 7 of the LGA.*
 - (b) Prescribed by the Order in Council constituting its community.*
- 2 The powers of a Community Board prescribed by Order in Council expire at the close of six years after the Order comes into force.*
- 3 Despite subsection (1), a community board may not:*
 - (a) Acquire, hold or dispose of property.*
 - (b) Appoint, suspend or remove staff.*

Powers Delegated to the Community Board by Council

- The co-ordination of rural reserves and hall committees.
- To allocate the approved budget for the following activities in the area:
 - Footpaths programme;
 - Parks and Reserves discretionary spend;
 - Public information signage.
- To approve:
 - Temporary road closures for events (subject to administrative imperatives);
 - Street names;
 - Parades, collections and special uses of the roads;
 - Changes to speed restrictions on local roads (subject to NZTA rules);
 - Road closures.

WAIMARINO-WAIOURU COMMUNITY BOARD

ORDER PAPER

A MEETING OF WAIMARINO-WAIOURU COMMUNITY BOARD WILL BE HELD AT THE
COUNCIL CHAMBERS, 37 AYR STREET, OHAKUNE
ON THURSDAY, 3 JUNE 2021, AT 6:00PM

PUBLIC BUSINESS

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1 Apologies	
2 Declarations of Interest: Notification from Elected Members of: 2.1 Any interests that may create a conflict with their role as an elected member relating to the items of business for this meeting; and 2.2 Any interests in items in which they have a direct or indirect pecuniary interest as provided for in the Local Authorities (Members' Interests) Act 1968	
3 Public Forum: Temporary Suspension and Reinstatement of Standing Orders	5
4 Confirmation of Minutes: 6 May 2021	6 – 14
5 Ohakune Railway Station – Detailed Seismic Assessment & Cost Estimate for Strengthening	15 – 90
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Please Note: The Reports attached to this Order Paper set out suggested resolutions only. These suggested resolutions do not represent Council policy until such time as they might be adopted by Council resolution. This Order Paper may be subject to amendment either by addition or withdrawal of items contained therein.

Report to: Waimarino-Waiouru Community Board

Meeting Date: 3 June 2021

Subject: **Public Forum: Temporary Suspension and Reinstatement of Standing Orders**



Purpose of Report

- 1.1 The purpose of this Report is to enable the Board to temporarily suspend Standing Orders in their entirety to allow Members and the Public to address the Board.

Significance and Engagement

- 2.1 There is nothing in this Report that triggers the Significance and Engagement Policy.

Public Forum Guidelines

- 3.1 The Community Board has adopted the following Public Forum Guidelines:
- (a) Five minutes speaking time will apply to each speaker or group.
 - (b) Members of the public wishing to speak must advise the Community Board of the reasons and subject he/she wishes to address the Board a minimum of two clear working days prior to the meeting.
 - (c) The Chair may refuse applications which are repetitious or offensive and may terminate a speaker in progress where the subject matter is disrespectful or offensive.
 - (d) There are not to be criticisms of individual Board members or individual staff members.
 - (e) The Public Forums are designed for people to speak about matters of interest to them to the Community Board. It is not intended that people should be questioning Board members on these occasions. However, Board members may ask questions of speakers to clarify their statements.

Suggested Resolution(s)

- 1 That the Report on Public Forum: Temporary Suspension and Reinstatement of Standing Orders be received.
- 2 That, pursuant to Section 27(4) Schedule 7 of the Local Government Act 2002, the Board temporarily suspends Standing Orders in their entirety to allow Members and the public to address the Board.

The Board received addresses as follows:

RESOLVED

That, pursuant to Section 27(4) Schedule 7 of the Local Government Act 2002, the Board reinstates Standing Orders in their entirety for consideration of the agenda.

A handwritten signature in black ink, appearing to read 'Tasha Paladin'.

Tasha Paladin
GOVERNANCE OFFICER

WAIMARINO-WAIOURU COMMUNITY BOARD

MINUTES

A MEETING OF WAIMARINO-WAIOURU COMMUNITY BOARD WILL BE HELD AT THE
THE CENTRE, WAIMARINO BAPTIST CHURCH, RAETIHI
ON THURSDAY, 6 MAY 2021, AT 6:02PM

PUBLIC BUSINESS

Present

Board Members	John (Luigi) Hotter John Chapman Kay Henare Allan Whale	(Chair)
Mayor (Non-voting)	Don Cameron	
Councillors	Vivienne Hoeta Rabbit Nottage	
Councillors (Non-voting)	Janelle Hinch Elijah Pue	7:07PM
Staff	Pauline Welch Warren Furner Julia Fincham Tasha Paladin	Group Manager Customer Services Executive Manager Infrastructure Community Property Assets Manager Governance Officer
In attendance	Deborah Lowen Geoff Anderson Gordon Goodman Scott Young Emma Benefield Helen Cussins Liz Brooker Te Rangimarie Waara	Raetihi Promotions Charitable Trust Kim Young & Sons Ltd

1 Apologies

RESOLVED

Moved: Cr Nottage

Seconded: Member Whale

That the apologies for lateness from Cr Hinch be accepted.

2 Declarations of Interest

No conflicts of interest were declared.

3 Public Forum: Temporary Suspension and Reinstatement of Standing Orders

The Board temporarily suspended Standing Orders in their entirety.

RESOLVED

Moved: Member Whale

Seconded: Cr Hoeta

- 1 *That the Report on Public Forum: Temporary Suspension and Reinstatement of Standing Orders be received.*
- 2 *That pursuant to section 21(4) Schedule 7 of the Local Government Act 2002, the Board temporarily suspends Standing Orders in their entirety to allow Members and the public to address the Community Board.*

The Community Board received addresses as follows:

- Deborah Lowen spoke on behalf of the Raetihi Forum to provide the Board with historical information pertaining to the Raetihi Pools Project. Ms Lowen expressed her concerns the Interim Report [Item 6 in the Agenda] has not included the views of the community. Ms. Lowen presented a copy of the Report originally presented to Council November 2019 (Minute Attachment 1) and requested the Forum's submission be treated as a community submission to the Revitalisation Fund.
- Geoff Anderson provided a brief update to the Board on the activities of Raetihi Promotions Charitable Trust: The Ameku Road walkway; the accessible walking track; The Hub and the next After Five meeting with Uenuku. He referred to item O3 in the Capital Works and Members Request for Information and noted officers had still not contacted him. Mr. Anderson spoke to his long-term involvement in the Raetihi Swimming Pool and the submission made to a previous Long Term Plan to fund a feasibility study. He commented that the Raetihi Forum was not a legal entity; however, the Pool Committee could operate under the Raetihi Promotions Charitable Trust for funding. The committee have been waiting for the outcome of a feasibility study to commence activities.
- Gordon Goodman expressed his concerns with the poor quality of repairs completed on the Ohakune-Raetihi Road. Mr. Goodman also raised concerns the Fibre Broadband network currently being installed underground throughout Ohakune is going to be installed overhead in Raetihi. Mr. Goodman has been advised by both Powerco and Downer Electrical.
- *Officers advised the level of service ordered was for an underground network, and undertook to make enquiries.*
- Scott Young of Kim Young & Sons Ltd questioned the value of investment allocated to the Ruapehu Road and Mangateitei Road over bridges.
- *Officers were requested to make this detail available.*

- Liz Brooker expressed her concerns with the lack of community consultation regarding the Raetihi and Ohakune Swimming Pool Interim Report [Item 6 in the Agenda]. Ms. Brooker felt the report pitted the pools against each other rather than considering a year round facility to serve the district. Ms. Brooker asked why the report did not trigger the Significance and Engagement, or Social Policies.

RESOLVED

Moved: Member Whale

Seconded: Member Henare

That, pursuant to Section 27 (4) Schedule 7 of the Local Government Act 2002, the Board reinstates Standing Orders in their entirety for consideration of the Agenda.

4 Confirmation of Minutes: 8 April 2021**RESOLVED**

Moved: Cr Hoeta

Seconded: Member Henare

That the Public-Business Minutes of the Waimarino-Waiouru Community Board meeting held 8 April 2021, be confirmed as a true and correct record subject to the following amendment:

Item 3 – Public Forum

- *Correct the spelling of Mangateroa School to Mangaeturoa School*

5 Raetihi and Ohakune Swimming Pool Feasibility Study

Members received a report on the progress of the feasibility study for the Raetihi and Ohakune Swimming Pools. The Community Property Assets Manager spoke to this report and answered Members' questions.

Members expressed their disappointment with the Interim Report.

Member Hotter requested any future reports include the name of the author and date of the report.

It was noted CLM is unable to provide a feasibility study within a timeframe acceptable to both Council and the community. An external consultant would need to be contracted. The scope of the study will include a requirement for collaboration with community user groups.

Note: Members discussed funding the feasibility study in Item 11: Capital Works and Other Items of Interest 2020/21 List of the Agenda [point C3]

RESOLVED

Moved: Member Whale

Seconded: Member Henare

- 1 *[Amended] That the report on Raetihi and Ohakune Swimming Pool Interim Report be received.*

6 Tree Removal: Teitei Drive, Ohakune and Mangawhero Reserve, Tay Street, Ohakune

Note: Cr Hinch entered the meeting at 7:07PM

Members received a report seeking approval for the removal of trees situated on Council owned properties at Teitei Drive and Mangawhero Reserve, Ohakune. The Community Property Assets Manager spoke to this report and answered Members' questions.

[3.1] Member Hotter noted the Pine Trees in the report were not present; however, one old Macrocarpa, 10 large Lawson and two native trees were on the property.

[3.2] Member Hotter noted the branches of the Silver Birch Trees could be removed instead of the entire tree.

RESOLVED

Moved: Member Whale

Seconded: Cr Hoeta

- 1 *That the report on Tree Removal: Teitei Drive, Ohakune and Mangawhero Reserve - Tay Street, Ohakune be received.*

RESOLVED

Moved: Cr Hoeta

Seconded: Member Whale

- 2 *That the Waimarino-Waiouru Community Board Committee does not approve the removal of six pine trees at Teitei Drive, Ohakune at the expense of the neighbouring private property owner of 30C Snowmass Drive, Ohakune.*

RESOLVED

Moved: Member Whale

Seconded: Cr Hoeta

- 3 *That the Waimarino-Waiouru Community Board Committee does not approve the removal of three Silver Birch trees at Mangawhero Reserve - Tay Street, Ohakune at the expense of the neighbouring private property owner of 3 Tay Street, Ohakune.*

7 Removal of Trees on Road Reserve: River Road, Ohakune

Members received a report advising of the outcome of the requested investigation into the

unauthorised removal of trees on River Road Reserve, Ohakune. The Community Property Assets Manager spoke to this report and answered Members' questions.

RESOLVED

Moved: Cr Hoeta

Seconded: Member Whale

- 1 . *That the Report on Removal of Trees on River Road Reserve be received.*

8 Proposal to restrict heavy vehicles from using Ruapehu Road between Dreadnought Road and Railway Row, Ohakune under Land Transport Bylaw, Section 19, Schedule 20: Restriction on Use of Road
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Members received a report seeking a recommendation to Council in respect to a proposal to restrict heavy vehicles from using Ruapehu Road between Dreadnought Road and Railway Row, Ohakune under Land Transport Bylaw, Section 19, Schedule 20: Restriction on Use of Road. The Executive Manager Infrastructure spoke to this report and answered Members' questions.

The Executive Manager Infrastructure clarified that Council needed to seek a formal resolution to adopt the recent restrictions to make them legal and enforceable.

Under the Land Transport Management Act, Ruapehu District Council has delegated authority to make and amend the Ruapehu District Council Land Transport Bylaw. The formal resolution is required to update the schedules of this Bylaw.

RESOLVED

Moved: Cr Hoeta

Seconded: Member Whale

- 1 *That the report on Proposal to restrict heavy vehicles from using Ruapehu Road between Dreadnought Road and Railway Row, Ohakune under Land Transport Bylaw, Section 19, Schedule 20: Restriction on Use of Road be received.*

RESOLVED

Moved: Member Whale

Seconded: Member Chapman

- 2 *That Waimarino-Waiouru Community Board recommends to Council to that heavy vehicles are restricted from using Ruapehu Road between Dreadnought Road and Railway Row, Ohakune under Land Transport Bylaw Section 19: Use of the road, Schedule 20 Restriction on Use of Road.*

9 Temporary Road Closure: Ohakune Carrot Carnival
--

Members received a report advising of the proposed road closure application for the Ohakune Carrot Carnival 2021 event. The Executive Manager Infrastructure confirmed no objections had been received.

RESOLVED

Moved: Member Whale
 Seconded: Member Chapman

- 1 *That the report on Temporary Road Closure – Ohakune Carrot Carnival be received.*

RESOLVED

Moved: Member Whale
 Seconded: Cr Hoeta

- 2 *That the Waimarino-Waiouru Community Board approves the Temporary Road Closure of Thames Street from Mangawhero Terrace to Rimu Street, for the Ohakune Carrot Carnival Event on Saturday 5 June 2021 from 6am to 5pm.*

10	Appointment to Kariori Hall and Recreation Reserve Management Committee
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Members received a report seeking the appointment of a Community Board Member to the management committee of the Kariori Hall and Recreation Reserve. The vacancy was created by the resignation of Member Dowsett.

RESOLVED

Moved: Member Whale
 Seconded: Cr Hoeta

- 1 *That the Report on Appointment of Member to Kariori Hall and Recreation Reserves be received*

RESOLVED

Moved: Cr Hoeta
 Seconded: Cr Nottage

- 2 *That the following appointment is made to the Committee:*

Organisation	Appointment
Kariori Hall and Recreation Reserve	Member Chapman

11	Capital Works and Other Items of Interest 2020/21 List
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Members were provided with an update on planned Capital Works and other Items of interest in the Waimarino-Waiouru Ward in 2020/21. Relevant officers spoke to this report and answered Members' questions.

Key Items discussed:

- R1 Mangateitei & Railway Over Bridge Replacement: Council has requested a significant increase in funding levels over the next 10-year period. Waka Kotahi NZ Transport Agency has provided an indicative funding range and is working through its

moderation process. Final funding approvals are expected in September.

Member Hotter asked if there were mitigations for emergency response vehicles using the Mangateitei Bridge. Officers are working with Fire and Emergency to calculate payloads of emergency response vehicles to enable plans for response to be developed

- R2 Pavement Rehabilitation: Rimu Street is currently being constructed. Officers confirmed the work is scheduled to be completed week commencing 17 May
- R7 Crossing Points, State Highway 1, Waiouru: Officers advised a completion date remains to be confirmed by Waka Kotahi NZ Transport Agency
- R8 Speed Limits – Raetihi, Ohakune and Waiouru: Officers advised this falls under the new Land Transport Rule: Setting of Speed Limits 2021. Waka Kotahi NZ Transport Agency is the author of this work and is leading the consultation for Council.
- R13 Verge Damage Mangawhero Terrace Extension and Shannon Street: members requested a date for the work.
- *Officers undertook to present a concept design to the Board*
- R14 Raetihi – Ohakune Road Surface Issues: Members requested the date for completion be revised based on the concerns brought to the Board in the Public Forum. Officers commented that poor quality work is followed up and any programmed repairs that fail are not paid for twice.
- *Officers undertook to updated the report*
- E1 Flood Modelling River Works: Concerns were raised with the timing of the Flood Meetings being conducted by Horizons Regional Council. Weston Kirton, Horizons Regional Councilor, committed to take the feedback to Horizons Regional Council.
- *Officers undertook to contact Horizons Regional Council to request two community meetings*
- E4 Ohakune Water Intake:
- C1 Re-Pile Ohakune Railway Station: Officers confirmed the report is scheduled to be presented at the June Meeting
- C2 Raetihi Revitalisation – Community Hub: Members asked if the two projects were being considered as one for reporting purposes. Officers clarified the Community Hub was the only element of the Raetihi Revitalisation project currently in progress. Cr Hoeta clarified the Revitalisation Project had not stalled and was being driven by the community.
- C3 Ohakune Swimming Pool: It was asked if the \$30,000 budget approved for the upgrade to the complex could be reassigned to fund the feasibility study [Item 5: Raetihi and Ohakune Swimming Pool Feasibility Study in the Agenda]. Officers advised the \$30,000 was Capital budget and could not be reassigned.
- C9 Raetihi Cemetery Extension: Members requested clarity on the date in the report. Officers advised July 2021 was the anticipated date for site selection.
- *Officers suggested a workshop in June to consider options.*
- C15 Ohakune Drinking Fountains: Officers noted each fountain costs \$2,500 to \$3,000 uninstalled. These fountains are only frost resistant and officers are exploring solutions for frost proof drinking fountains. Cr Hoeta requested location options come to the Board.
- *Officers undertook to present possible locations at a future meeting.*
- C17 Pipiriki Playground: Officers confirmed the official opening as 11:00AM, Thursday 20 May. Cr Hoeta advised there would be a powhiri at the Marae first.

- C10 Ruatiti Domain Toilet Upgrade: Officers confirmed a funding application had been made to MBIE for a dry vault, two cell toilet
- O3 Security Cameras: Cr Pue understands there has been progress but Raetihi Promotions Charitable Trust has still not been contacted.
Cr Pue requested that the Trust is contacted and brought up to speed with progress and options available.
- O4 Proposed Raetihi Community Hub: It was noted this item was out of date and will be removed. Point C2 refers.

Cr Hoeta expressed her concerns with the large potholes in the driveway to Raetihi Holiday Park. Officers confirmed this work fell under point C7 and was being reviewed by GHD as part of the scope of works.

Cr Nottage requested an update on the matter raised at the 4 February and 8 April Meetings regarding the cleaning of Sumps and Gutters. Officers clarified that works above ground were within the remit of Parks and Reserves, works beneath the grate were within Veolia's remit. Officers confirmed the level of service to be four times per year (January, April, June and August).

- *Officers undertook to follow up the request.*

Member Henare noted the reflective dots on Half Moon Bridge in Pipiriki were missing. Officers commented that Members could submit a Service Request through the website for such items.

RESOLVED

Moved: Member Whale

Seconded: Cr Hoeta

- 1 *That the report on Capital Works and Members' Requests for Information be received.*

12	Resolution to Exclude the Public for Consideration of Committee Business
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Section 48 of the Local Government Official Information and Meetings Act 1987 gives the Community Board the right by resolution to exclude the public from the whole or any part of the proceedings of any meeting only on one or more of the grounds contained within that Section.

RESOLVED

Moved: Cr Hoeta

Seconded: Member Henare

- 1 *That the report on Resolution to Exclude the Public for Consideration of Community Board Business be received.*
- 2 *That the public is excluded from the following part of the proceedings of the meeting.*

- 3 *That the general subject of each matter to be discussed while the public is excluded, the reason for passing the resolution in relation to each matter and the specific grounds under Section 48(1) of the Local Government Official Information and Meetings Act 1987 for the passing of this resolution are as follows:*

General Subject of each matter to be considered	Reason for passing this resolution in relation to each matter	Ground(s) under S48(1) for passing this resolution
C1: Confirmation of Public-Excluded Minutes: 8 April 2021	The reason(s) for excluding the public is/are recorded in the Public Business Minutes of the meeting	48(1)(a)
C2: Confidential Briefing	Enable any local authority holding the information to carry on, without prejudice or disadvantage, negotiations (including commercial and industrial negotiations). To maintain the effective conduct of public affairs through the free and frank expressions of opinions by, or between, or to members of or officers or employees of any local authority, or any persons to whom Section 2(5) of the Local Government Official Information and Meetings Act 1987 applies, in the course of their duty. To protect the privacy of natural persons. To maintain legal professional privilege	

- 1 *This resolution is made in reliance on Section 48(1)(a) of the Local Government Official Information and Meetings Act 1987 and the particular interest or interests protected by Section 6 or Section 7 of that Act or Section 6 or Section 7 or Section 9 of the Official Information Act 1982 as the case may require are listed above.*

There being no further business, the meeting concluded at 8:42PM.

Dated at Ohakune this 3rd day of June, 2021.

John Hotter
CHAIRPERSON

Report to: Waimarino - Waiouru Community Board

Meeting Date: 3 June 2021

Subject: Ohakune Railway Station: Detailed Seismic Assessment and Cost Estimate for Strengthening



Purpose of Report

- 1.1 The purpose of this report is to update Members on the Detailed Seismic Assessment and Cost Estimate for Strengthening undertaken for the Ohakune Railway Station Building and to seek approval to proceed with a Detailed Strengthening Design.

Significance and Engagement, Social Impact

- 2.1 The Ohakune Railway Station building has a significance rating of High. The railway building is a listed heritage building and provides a tangible link with people and events of the past.
- 2.2 Engagement with the community would be necessary in the event that a decision was made to permanently remove the building, which is not being considered at the current time. Engagement may be required to discuss the provision of funding for the strengthening of the building if the community contribution was significant.

Social Impact Analysis

- 3.1 The Ohakune Railway Station and signal box form the centrepiece of the rail heritage precinct at Ohakune Junction and are physical reminders of the central historical importance of rail to the town and region. The station itself is one of the oldest buildings in Ohakune, and the relocated signal box is contemporaneous with those, which were originally at the junction.
- 3.2 The Ohakune Railway Station has a category 2 status under the New Zealand Historic Places Trust (NZHPT).
- 3.3 The heritage value of the station and surrounding area was recognised locally in the 1990's. As such, the signal box was relocated to the junction. The signal box, formally the ex-Paekakariki north-end signal box, is largely unchanged from when it was built in 1909.
- 3.4 Ohakune Railway Station is one of only two remaining north island main trunk construction era stations in the central plateau still fulfilling its original function and it therefore provides a direct link to the history of the railway and Ohakune's development. The pairing of the station and signal box forms a representative set of early 20th century railway buildings.
- 3.5 There is a strong community feeling for the Railway Station Building. In 1990 volunteers formed a group to promote and protect the building. This group (Main Trunk Rail Ohakune) later became an incorporated society and oversaw the restoration of the building after it suffered fire damage in 2003. The local community was very supportive of the efforts of the group and the development of the 'historic area' received considerable media attention. The community response to the fire of December 2003 further demonstrates the high esteem in which the public holds the building. Both the trust (NZHPT) and the society were inundated with messages of sympathy and offers of assistance.

Background

- 4.1 Section 122 of the Building Act 2004 states a building must be classified as an earthquake prone building if its ultimate capacity is exceeded in a “*moderate earthquake*” and the building would be likely to collapse as a result of the earthquake, causing injury or death of the building occupants or damage to any other property.
- 4.2 A “*moderate earthquake*” is defined by the Act as an earthquake having a magnitude of one third of the magnitude that would be used to design a new building at that site in accordance with the current earthquake design standards. The terminology adopted by structural engineers is to classify buildings as being a percentage of the New Building Standard (% NBS) and so an earthquake prone building would have a strength of less than 34% NBS. A new building designed to the current standards would have a strength of 100% NBS.
- 4.3 All buildings that are deemed to be earthquake prone will need to be either demolished or strengthened to 34% NBS or better within 25 years from the date Council (as the Building Control Authority) sends notice that the building is potentially earthquake prone and must be assessed.
- 4.4 An Initial Evaluation Procedure (IEP) undertaken in 2012 by AECOM identified the Ohakune Railway Station building as being earthquake prone in accordance with the requirements of the Building (Earthquake-prone Buildings) Amendment Act 2016 at only 30% New Building Standard (NBS).
- 4.5 At a Waimarino-Waiouru Ward Committee (WWCB) meeting held 2 August 2018 Members considered report 689521 and it was resolved that WWCB recommend to Council that the earthquake prone Ohakune Railway Station be strengthened and, as a first step, have a Detailed Seismic Assessment (DSA) undertaken on the building. The resolution from the meeting is provided below:

RESOLVED

- 1 *That the report on Future of the Ohakune Railway Building be received.*
- 2 *That the Waimarino-Waiouru Community Board recommends to Council the strengthening of the Ohakune Railway Station.*
- 3 *That the Waimarino-Waiouru Board recommends to Council carry forward the 2016/17 financial year budget of \$41,000 and seek additional advice on the assessment.*

- 4.6 At a Council meeting held 12 September 2018 Members considered report 696664 seeking approval to strengthen the earthquake prone Ohakune Railway Station building and, as a first step, undertake a DSA. The resolution from the meeting is provided below:

RESOLVED

- 1 *That the report on Future of Ohakune Railway Building be received.*
- 2 *That Council seek approval from the Historic Places Trust on the option to remove the chimneys in the Ohakune Railway Station Building.*
- 3 *That Council approves that \$41,000 funds from the 2016/17 financial year budget be carried forward and used to have a detailed seismic assessment undertaken on the Ohakune Railway building.*

- 4.7 Approval from Heritage New Zealand for the removal of the chimneys was subsequently sought with the advice that Heritage NZ supported the retention of the existing chimneys and

fireplaces, with any existing bases and the safe, along with strengthening of the building, subject to the next level of engineering investigation.

Discussion

- 5.1 Miyomoto International New Zealand (MINZ) undertook a DSA (**Attachment 1**) to bring the building up to 67%NBS, including a concept estimate for the recommended strengthening work to be undertaken.

Work and costs to strengthen the building higher than the minimum legal requirement of 34%NBS were sought following advice from engineering experts that costs to strengthen to 67%NBS would not be significantly higher due to the largest cost usually being the exposure of structural elements and then concealing again behind decorative architectural finishes/painting, and that the option to upgrade the building to above 34% is therefore well worth investigating.

- 5.2 The DSA indicates that the existing building's seismic capacity is less than 15% NBS, limited by two heavyweight chimneys (chimneys 1 and 3) through the roof. Other elements that are less than the legal requirement of 34% NBS include chimney 2, the platform canopy, ceiling and subfloor bracing. The chimneys are shown in **Figure 1**:



Internal Chimney (1) in shop (Black Chateau Textiles)



External Chimney (2) in shop end of building



Internal Spiral Chimney (3) in ex-Visit Ruapehu Rooms

Figure 1: Ohakune Railway Station Chimneys

- 5.3 The DSA recommended the chimneys be demolished and replaced with suitable light-weight replicas, however Heritage NZ advised that replica chimneys are not in keeping with the Heritage Status of the building and that the chimneys should be strengthened rather than replaced.
- 5.4 A Conservation Architect has worked with Miyomoto to provide an updated proposal for strengthening the chimneys (**Attachment 2**) by a method which has been approved by Heritage NZ.
- 5.5 A concept estimate has been provided for the new proposal for strengthening the chimneys (**Attachment 3**).
- 5.6 Improvements for the building to achieve a rating of above 34%NBS are summarised in **Table 1**.

Table 1: Improvements for the Ohakune Railway Station to achieve a rating of above 34% NBS

Item	Element	Existing Seismic Capacity	Issue	Recommendation
1	Chimneys 1 and 3	<15% NBS	Heavy unreinforced masonry	<p>Strengthen using a steel plates lowered down the flue and then welded to further similar steel frames in the gathering and at the base of the firebox. The chimney will be attached to the steel plate by fixings through the mortar joints that can then be repointed to cover the tie installation.</p> <p>Chimneys will remain operational.</p> <p>Note: Geotechnical investigations indicate that the soil has a very low bearing capacity. Screw piles proposed previously to improve the foundation, would be very difficult to install to the existing internal chimneys (chimneys 1 and 3). Instead it is proposed to strengthen the floor diaphragm and stiffen the subfloor perimeter to provide improved lateral bracing and to only take vertical loads in bearing below the internal chimneys.</p>
2	Chimney 2	<20%NBS	Heavy unreinforced masonry	<p>As above.</p> <p>Chimney will remain non-operational.</p>
3	Canopy	<20% NBS	Lack of bracing & unknown canopy to building connections.	<p>Remove existing wall linings to allow an inspection of connections between the canopy and existing braced walls (remedial works may be required) and then install canopy bracing under the roof level.</p> <p>Note: Canopy owned by KiwiRail and any work done in connection with it would require permission from KiwiRail.</p>
4	Foundations	<33% NBS	Poor bearer/pile connections	Check bearers are attached to piles and remedy where required.

- 5.7 If the decision was made to bring the building up to 67% NBS, in addition to the work required in Table 1, the internal wall linings will require redesigning to perform as better bracing elements. The internal and external walls of the building are constructed from timber framing with plaster boarding linings. The timber framed walls have been assessed as having a seismic capacity of 43% and 50% NBS in the transverse and longitudinal directions respectively and therefore are greater than the legal minimum of 34% NBS.

- 5.8 The cost for improvements for the building to achieve a rating of above 34%NBS and above 64% are summarised in **Table 2**.

Table 2: Concept Strengthening Estimate – Ohakune Railway Station

Description	Cost to strengthen to 34% NBS (\$ ex GST)	Cost to strengthen to 67% NBS (\$ ex GST)
Strengthen Chimneys 1, 2 and 3	42,906	42,906
Relocate Services	2,500	2,500
Provide Access to ceiling and sub-floor space and reinstate on completion	2,000	2,000
Sub-floor bracing	14,080	14,080
Upgrade floor diaphragm	31,740	31,740
Upgrade ceiling diaphragm	31,740	31,740
Remove existing wall linings to allow an inspection of timber framing (remedial works may be required) and then install new specifically design GIB Braced wall linings.	0	24,800
Remove existing wall linings to allow an inspection of connections between the canopy and existing braced walls (remedial works may be required) and then install canopy bracing under the roof level.	31,820	31,820
Check bearers are attached to piles	2,500	2,500
Contractors Margin – wall linings and canopies (10%)	3,182	5,662
SUB TOTAL	162,468	189,748
Additional costs (page 6 of Concept Strengthening Estimate)		
Detailed Design, consenting & construction observations	19,800	19,800
Building Consent	4,000	4,000
Resource Consent	3,000	3,000
Remedial/replacement work where linings removed	5,000	5,000
Insurance – contract works insurance for work up to \$1,000,000 already held by Council where material damage is covered.	0	0
Project Management	3,000	3,000
Contingency (15%)	29,590	33,682
SUB TOTAL	64,390	68,482
TOTAL	226,858	258,230

- 5.9 The next step toward strengthening the Ohakune Railway Building is to have a Detailed Strengthening Design carried out. This will include inspection of the connections between the canopy and existing braced walls and bearers to piles to inform the level of work required to these, and will provide the detail required by contractors to undertake the strengthening work to the building.

Council can choose to strengthen to either 34% or 67%NBS (see 5.1). A quote has been provided to undertake the Detailed Strengthening Design as follows:

- 34%NBS option - \$14,100 ex GST
- 67%NBS option - \$17,100 ex GST

5.10 Funding

The Lottery Grants Board provides funding for heritage works with no limit to the amount that can be applied for. A Detailed Design for strengthening meets the criteria for funding. Council would be required to meet at least one-third (approximately \$4,653 to strengthen to 34%NBS or \$5,643 to strengthen to 67%NBS) of the total project cost.

- 5.10.1 The platform canopy is owned by KiwiRail and work required for this will be confirmed during the Detailed Design phase. Whether KiwiRail would contribute to any of the cost incurred for this is unknown.

5.10.2 A budget of \$41,000 was provided in the 2016/17 financial year for remediation works on the Ohakune Railway Building. This budget (CWIP068) was carried forward and used for the Detailed Seismic Assessment and Cost Strengthening Estimate, three chimney strengthening concept to meet Heritage requirements, cost strengthening for chimneys, Conservation Architect and asbestos survey leaving \$16,170 remaining. It is recommended these remaining funds be carried forward to be used to put toward Council's contribution of one third of the Detailed Design.

Suggested Resolution(s)

- 1 That the report on Ohakune Railway Station – Detailed Seismic Assessment and Cost Estimate for Strengthening be received.
- 2 That the Waimarino-Waiouru Community Board recommends/does not recommend to Council to carry forward the 2020/21 financial year remaining budget for the remediation works on the Ohakune Railway Building of \$16,170.
- 3 That the Waimarino-Waiouru Community Board recommends/does not recommend to Council that a Detailed Design be undertaken to strengthen the building to 34%NBS / 67%NBS.

Julia Fincham

ACTING TEAM LEADER COMMUNITY PROPERTY ASSETS OFFICER

Email address for point of contact: Julia.Fincham@ruapehudc.govt.nz

Attachments

- 1 Detailed Seismic Assessment
- 2 Concept Strengthening for Chimneys at Ohakune Railway Station
- 3 Concept Estimate Ohakune Railway Station – Chimney Strengthening

Detailed Seismic Assessment

Address: Ohakune Railway Station Building, 31 Thames Street



Date: Tuesday, 18 February 2020

Project Number: 180760

Prepared for: Ruapehu District Council

Report Tracking – 31 Thames Street, Ohakune

Revision	Status	Date	Prepared by	Reviewed by
A	Final	1/02/2019	Suely Mollinedo	Barend Geldenhuys David Bewick
B	Updated to clarify DSA Results and Strengthening	08/01/2020	Sam Mayston	Suely Mollinedo
C	Minor updates to report.	18/02/2020	Suely Mollinedo	Sam Mayston
D	Chimney Names and QS Report updated	19/04/2020	Sam Mayston	Sam Mayston
E	Minor edit	28/04/2020	Sam Mayston	Sam Mayston

Authorisation

Reviewer's Signature		Approver's Signature	
Name	Suely Mollinedo	Name	Sam Mayston
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Executive Summary

This report was updated in January 2020 to clarify the current and proposed building %NBS score and proposed methodology for strengthening the building up to 67%NBS.

For the building to achieve the required legal minimum 34% NBS, all of the proposed works (ref. Table 1, Page 8 of this report) have to be carried out except for wall relining (transverse and longitudinal) as this is already higher. As this will be a small portion of the overall refurbishment cost, we recommend that the original proposed 67%NBS.

Miyamoto International NZ Ltd (MINZ) has been engaged by Ruapehu District Council to complete a Detailed Seismic Assessment (DSA) in reference to our proposal dated 02 November 2018. The subject building is a commercial-use building located at 31 Thames Street Ohakune.

The original building was constructed in the early 1900's and is a single storey building. MINZ have carried out a Detailed Seismic Analysis (DSA) based on methodologies described in "The Seismic Assessment of Existing Buildings: Technical Guidelines for Engineering Assessment, 2017 - NZSEE".

The seismic capacity of an existing structure is expressed in relative terms with respect to the New Buildings Standard (NBS). NBS refers to the seismic load against for which new buildings should be designed. The seismic load for new buildings is given in the current loading code, the NZS 1170.5 (2004), and depends on location, proximity to fault lines, subsoil conditions and type of structure.

Following such detailed assessment, the seismic capacity of the building is <15%NBS, limited by the two heavy-weight chimneys through the roof. Other elements that are less than the legal requirement of 34%NBS include the lack of ceiling diaphragms and lath and plaster gib braced walls in the Transverse and Longitudinal directions. The building's overall rating is less than 34%NBS, which means that the building is currently classified as an Earthquake Prone Building.

The results indicate that the capacity of the building is limited by the following weaknesses and issues:

1. Two URM chimneys present a potential life safety hazard, and we understand these are to be demolished and replaced by suitable light-weight replicas;
2. One URM chimney has been strengthened above ground, but still requires foundation strengthening;
3. Lack of ceiling diaphragms or roof bracing in the building;
4. Poor connections between the bearers and the cantilever piles;
5. Historic GIB braced walls with assumed construction details;
6. No bracing in the canopy and unknown connections to the external walls.

1. Introduction

Miyamoto International NZ Ltd (MINZ) has been engaged by Ruapehu District Council to complete a Detailed Seismic Assessment (DSA), as per our proposal dated 02 November 2018 for the building at 31 Thames Street Ohakune.

1.1 Scope of Works

As identified in our proposal, the following activities were completed:

- a) Review all the available documentation provided to us.
- b) A seismic assessment of the existing structure which included:
 - Assessment of structural capacities and deficiencies, and seismic capacity of its elements in terms of % of New Building Standard (%NBS)
 - Identify non-structural vulnerabilities qualitatively.
- c) Advise on any required intrusive investigations for future developments.

1.2 Sources of Information

For this investigation, MINZ has relied on the information gathered during our site inspection, in addition to the following documents:

- Client has provided the building drawings of the construction stage;
- IEP Report completed by AECOM;
- Site inspection of the building - this was carried out by Barend Geldenhuys from our Kapiti Office on 30 October 2018.

1.3 Background Information

1.3.1 Site Description

The subject building was constructed in the early 1900's and is situated within the confines of the Ohakune Railway station. The site is located on flat ground and it is surrounded by open landscape. The building is free standing and not affected by pounding or influence from any adjacent buildings. The current building is rectangular shaped and is a single storey building. A detailed building description is in Section 1.3.2.



Figure 1. Aerial View of Building (North is up). Source (Local Maps).

1.3.2 Building Description

The original building consists of several key features. They are as follows:

- Foundations – the foundation consists of cantilever timber piles. For the bathrooms area the foundation is masonry concrete block and concrete slab.
- Superstructure – The internal and external walls of the building are constructed from timber framing with plaster boarding linings. The walls of the building have an internal height of 3.2 m. The external timber has deteriorated over time and this is likely due to lack of upkeep. The internal of the building is in good condition given the buildings age.
- Roof Structure – The roof structure is supported on the timber-framed perimeter walls. The roof is a light-weight timber truss system with corrugated iron sheets.
- Canopy – there is a large platform canopy, constructed with cantilever steel cross-beams and longitudinal timber purlins. There is no roof bracing observed in the platform canopy.
- Chimneys – there are three chimneys observed in the building, with two heavy-weight and one apparently strengthened. The two heavy chimneys are proposed to be replaced with replica light-weight versions, and as such do not require any further consideration. This report can be updated once the chimneys are replaced. The chimney that is already strengthened should be investigated further to confirm if strengthening is adequate. Foundations are still to be strengthened and 3x screw piles are proposed. Once removed or strengthened, that could be clarified / noted in the report.

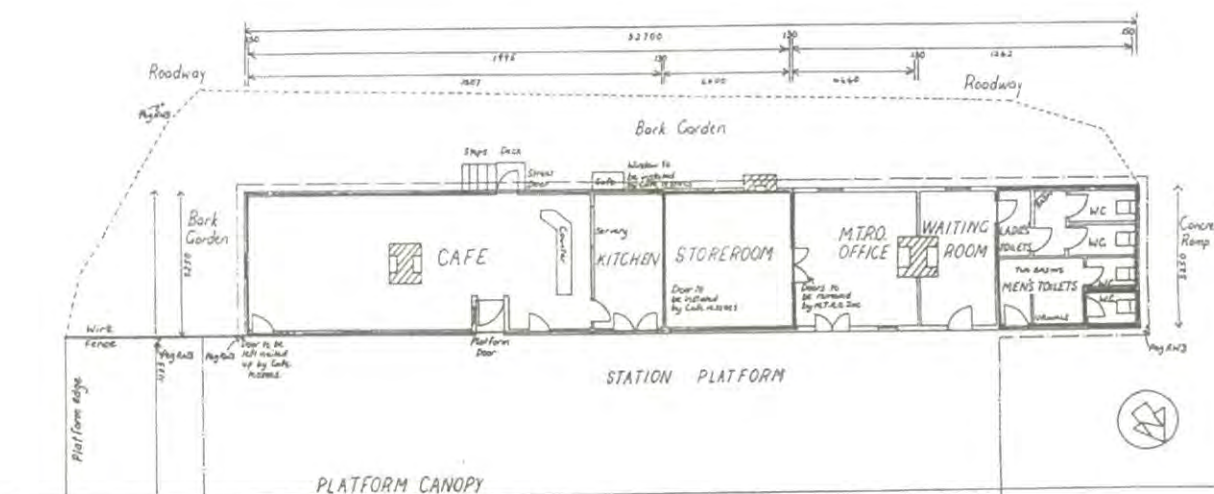


Figure 2: Ground Floor Layout

1.3.3 Load Resisting Systems

Gravity Load Resisting System

The gravity load system consists of a light-weight timber truss system that supports the corrugated iron roof sheeting. The roof is supported by timber-framed walls on the four outside external walls of the building. The superstructure consists of timber-framed construction and is supported by timber cantilever piles.

Lateral Force Resisting System

The lateral force resisting system of the building, consists of the following:

- There is currently a lack of bracing or diaphragms at the roof level of the building and in the canopy. There is currently no reliable load-path here to distribute load from the roof to the walls.
- Longitudinal (Along) and Transverse (Across) direction – Timber framed walls resist the lateral loads down to the ground-floor level.
- Timber pile foundations in the subfloor level transfer the lateral loads down to the ground.

1.4 Geotechnical Information

Additional information provided include a soil investigation summary, FW: [#16627] 16627 shallow testing bearing capacity Railway Station Ohakune (email), which is correspondence between the geotechnical engineer of Cheal Consultants Ltd and the client.

From this report, we have assumed a Site Subsoil Class of D as per the categories detailed in NZS 1170.5 – Earthquake actions.

The heavy chimneys have subsided into the ground, providing an uneven settlement and showing inadequate soil capacity to support the chimneys. As the chimneys are proposed to be removed and replaced with light-weight replicas, this settlement may be ignored.

The overall building settlement does not appear to be an issue, and as such we do not believe any further investigations are required.

1.5 Design Parameters

1.5.1 Standards and References

- NZS 1170: 2002 Parts 0 to 5 - Structural Design Actions Standard
- NZS 3101: 2006 Part 1 – Concrete Structures Standard
- NZS 3604: 2011 – Timber framed buildings
- NZS 3603: 1993 - Timber Structures Standard
- Section C8- Unreinforced masonry buildings
- Section C9-Timber Buildings
- Section C10- Secondary structural and Non Structural elements

1.5.2 Assumed Material Properties of Existing Structure

Structural Timber:

- All structural timber strengths as per NZS3603:1997 and as recommended by NZSEE Section C9 for timber Framed Buildings
- Walls resisting lateral loads – 2kN/m and 1kN/m for 2.4m wall height respectively for a cut in brace at 45 degrees wall and lining on one side wall (to be investigated).

Non-structural elements:

- Brick for chimneys – 18 KN/m³ as per Section C8- Unreinforced masonry buildings.

1.5.3 Material Properties of New Elements

Structural Timber:

- As per NZS3603:1997 and as recommended by NZSEE Section C9 for timber Framed Buildings

1.6 Loads

Dead Loads:

- Dead loads are based on section sizes and appropriate material densities.

Imposed Area Loads:

- Commercial building Floor areas – 2.0kPa
- Roof general access for service– 0.25kPa

Wind and Snow Loads:

- The building has not been checked for wind and/or snow loads.

Earthquake Loads:

- Ultimate Limit State
 - Seismic Hazard Coefficient, $Z = 0.27$ (Ohakune)
 - Return Period Factor = 1.0 (assuming Importance Level 2, i.e. occupancy less than 300 in an area and 10% annual probability of exceedance in 50 years design life of the building).

- Site subsoil class: D – Assume following geotechnical report by Cheal Consultants Ltd
- Near Fault Factor = 1.0 (derived for building and location)
- Structural Performance Factor, $S_p = 0.7$ (Timber Framed Building)

- Serviceability Limit State
 - Not considered.

- Seismic loads for the building were calculated using the following ductility's:
 - Timber Framed Building, $\mu = 3.0$ (Reconstruction of part of building after fire)
 - Unreinforced masonry chimneys, $\mu = 1.25$.

1.7 Durability Parameters

Design Life:

- The concept seismic strengthening scheme has been designed for a life of 50 years.

2. Analysis

The building was analysed in accordance with NZSEE Section C9. The building was assessed by considering the timber-braced walls resisting the lateral loads.

The building has been analysed with the ductility of 2.0 for existing timber braced walls and in accordance with NZS 3603 1993 Timber Structures Standard.

2.1 Assessment Method and Results

The assessment was completed following the relevant sections of “The Seismic Assessment of Existing Buildings: Technical Guidelines for Engineering Assessment, 2017”, and relevant loading and material standards. The current seismic assessment guideline is the successor of the “New Zealand Society for Earthquake Engineer’s building assessment guideline, 2006.” The building was assessed using a force-based approach combined with consideration for the appropriate failure mechanisms. The %NBS is calculated using the following relationship:

$$\%NBS = \frac{Capacity}{Demand} \times 100\%NBS$$

Results of the DSA assessment of the existing building are outlined in the following table:

Element	Location	Description	Assessed		Comments
Timber Walls Transverse	Ground Floor	Timber Framed Walls with GIB Linings	43	%NBS	Original wall linings.
Timber Walls Longitudinal	Ground Floor	Timber Framed Walls with GIB Linings	50	%NBS	Original wall linings.
Roof Bracing / Diaphragm	Roof Level	No roof bracing located.	<20	%NBS	No roof bracing as no reliable roof diaphragm .
Canopy Bracing	Roof Level	No canopy bracing located.	<20	%NBS	No canopy bracing.
Chimneys	Ground Floor	2x Heavy URM brick chimneys.	<15	%NBS	To be removed.
Chimneys	Ground Floor	1x Heavy URM brick chimneys. Top only strengthened.	<20	%NBS	Foundations still need to be strengthened.
Sub-floor Bracing	Sub-floor	Cantilever timber piles	<33	%NBS	To be investigated.

Table 1: Results of checks on primary structural elements

The results of the seismic assessment confirm that the building would be classified as an Earthquake Prone Building as per the NZ Building Act.

We note that there is an unreinforced masonry safe on the exterior of the building which is not tied to the foundations of the main building. As there is no risk to life safety from failure of the safe, we have not included in the seismic assessment of the building.

3. Concept Strengthening Design

We understand that the Ruapehu District Council would like all their buildings to achieve a minimum of 67%NBS. We note that the legal minimum is to strengthen up to 34%NBS, but costs to strengthen higher than this (67 or 100%NBS) would not be significantly higher due to the removal and reinstatement of Architectural finishes ie: painting, plastering, etc.

For a major refurbishment project such as this, the largest cost is usually the exposure of structural elements and then concealing again behind decorative architectural finishes/painting. Therefore - there is often very little difference in cost between 67-100%NBS. We have provided the elements to achieve 67%NBS below, but these will likely be able to achieve 100%NBS for minimal additional cost.

For the building to achieve a rating of above 67%NBS the following improvements are recommended:

ELEMENT	LEVEL	FOR 67%NBS (or likely 100%NBS)
Heavy URM Chimneys, Chimneys Ch1 and Ch2.	Ground-floor	Demolish chimneys and replace with suitable light-weight replicas using the existing bricks as veneers.
Strengthened Chimney (Chimney C3)	Ground-floor	Either a) Inspect and review chimney to determine whether strengthening is adequate and then install 3x screw piles (to be designed) for foundation strengthening; Or b) remove and replace with a light-weight replica chimney.
Ceiling Diaphragm	All ceilings though-out building	Remove existing ceiling to allow an inspection of timber framing (remedial works may be required) and install a specifically designed plywood ceiling diaphragm to distribute the loads to the external timber-framed walls.
Timber-framed braced walls	Transverse and Longitudinal directions.	Remove existing wall linings to allow an inspection of timber framing (remedial works may be required) and then install new specifically design GIB Braced wall linings.
Canopy	Roof level under a canopy.	Remove existing wall linings to allow an inspection of connections between the canopy and existing braced walls (remedial works may be required) and then install canopy bracing under the roof level.
Foundations	Subfloor	Check bearers are attached to piles.

4. Conclusions and Recommendations

4.1 Conclusions

MINZ has completed a Detailed Seismic Assessment on the existing building located at 31 Thames Street, Ohakune.

The assessment indicates that the existing building's seismic capacity is less than 15%NBS which places the building in the Earthquake Prone Category.

The results of the assessment show that the limiting structural elements include:

1. Two heavy URM Chimneys and 1 heavy spiral chimney;
2. Lack of a reliable ceiling diaphragms;
3. Lack of bracing in the canopy;
4. Poor strength of existing plaster board braced walls;
5. Poor bearer/pile connections;
6. Unknown canopy to building connections.

4.2 Recommendations

Based on the results of the structural assessment, the following is recommended for the next phase:

1. The two heavy URM chimneys present a potential life/safety risk and should be demolished and replaced with suitable light-weight replicas;
2. The heavy spiral chimney could either be replaced with a light-weight replica, or strengthen foundations by installed 3x screw piles;
3. Ceiling diaphragms should be specifically designed and constructed to transfer loads between walls;
4. Internal wall linings should be designed to perform as better bracing elements.
5. Bearer/ pile connections should be checked to confirm adequacy;
6. Connections of the canopy to existing external walls should be checked to confirm adequacy and canopy bracing needs to be installed.
7. Further analysis and design is required for a Building Consent package to include all of the above and we recommend that this is undertaken to strengthen the building.

If the above recommendations are carried out, the building will likely rate >100%NBS.

It is usual to reissue an amended DSA report to confirm the new %NBS rating of the building once construction is completed.

Limitations

The following limitations are provided for completeness of the report:

1. The investigation of the existing building comprised a visual inspection, and the review of available drawings and previous report.
2. This report has been undertaken for the Client exclusively and is intended for their sole use and benefit. No other party should rely on this report without the prior written consent of Miyamoto International New Zealand Ltd. Miyamoto International New Zealand undertakes no duty, nor accepts any responsibility, to any third party who may rely upon or use this report. The basis of Miyamoto International New Zealand's advice and our responsibility to our Client is set out in the terms of engagement with our Client.
3. The present study is focused on life safety, rather than damage control in earthquake shaking. Therefore, the assessment we have carried out and the strengthening options provided are for Ultimate Limit State (ULS) only, which considers building strength for life safety. We have not assessed the building for Serviceability Limit State (SLS), which considers building performance.
4. MINZ recommends further development of the proposed concept. As a next step, we would like to meet with the client representatives to review our high-level concept and provide further assistance.

Appendix A. Abbreviations

CSW	–	Critical Structural Weakness
DSA	–	Detailed Seismic Assessment
EPB	–	Earthquake Prone Building – refers to definition in the Building Act 2004 i.e. < 33%NBS (some sources consider buildings to be EPB <34%)
ESA	–	Equivalent Static Analysis
IEP	–	Initial Evaluation Procedure.
LFRS	–	Lateral Force-Resisting System
NBS	–	New Building Standard – i.e., the standard that would apply to a new building at the site. This includes loading to the full requirements of the Standard.
NZS	–	New Zealand Standard
NZSEE	–	New Zealand Society for Earthquake Engineering
%NBS	–	Percentage of New Building Standard
pESA	–	Pseudo Equivalent Static Analysis
RC	–	Reinforced Concrete
RSA	–	Response Spectrum Analysis
SLS	–	Serviceability Limit State
ULS	–	Ultimate Limit State

Appendix B. Calculations



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Reviewed: _____ Date: _____

SUMMARY

Detailed seismic assessment has been carried out for the building located at 31 Thames Street Ohakune. AECOM had made IEP report assessing the building seismic strength of 30% NBS, regarding three existing brick chimneys. Miyamoto have been commissioned to prepare a Detailed Seismic Assessment of the building. The characteristics of the building are as described below:

Building type: Railway station (includes cafe, toilets and craft store)

- Single story
- Rectangular shape
- Light weight- timber frame
- Light weight roof - corrugated metal roofing
- Timber piles at sub floor level
- Importance level: IL2
- Probably designed in 1907
- Part reconstructed in 2004
- Located in Ohakune

Roof and canopy:

Light weight roof : Corrugated steel roofing

3 chimneys - All chimneys are URM

Structural resisting system:

- Longitudinal direction (y)
 - Timber frame
- Transverse direction (x)
 - Timber frame

1-sided plasterboard with nailing at 300mm centres (EXTERNAL WALLS)

2-sided plasterboard with nailing at 300mm centres (INTERNAL WALLS)

Foundations:

Timber piles

Concrete block foundation and concrete slab (addition 2004)

Assumptions

Dimensions as per Architectural drawing set from "Alex Ferrier Building Services" dated July 2004

Roof space non habitable or storage

Soil class= D (as per AECOM, ISA report)

Foundations as described in AECOM report

Three existing brick chimneys

Reference documents

- Architectural drawing set from "Alex Ferrier Building Services" dated July 2004.
- AECOM Seismic assessment report dated March 2012.
- 20181019130230438 Letter 18 10 2018 on Ohakune Railway Station chimneys
- FW: [#16627] 16627 shallow testing bearing capacity Railway Station Ohakune (email)
- New Zealand Standards NZS3604:2011 Timber framed building
- NZSEE Guidelines: Seismic Assessment of existing buildings 2017.
- Section C8- Unreinforced masonry buildings
- Section C9-Timber Buildings
- Section C10- Secondary structural and Non Structural elements

Date:

Reviewed:



Materials

Timber frame MSG8

Timber MSG8 for floor structural elements

Timber piles and poles MSG8

Timber Roof elements MSG8

Structural Steel Grade 350

20 MPa concrete

20 series masonry block

Loads

- Permanent

Light weight timber roof = 0.4KPa

Timber frame external wall = 0.40 KPa

Light weight internal wall = 0.35KPa

Medium weight roof of canopy = 0.50 KPa

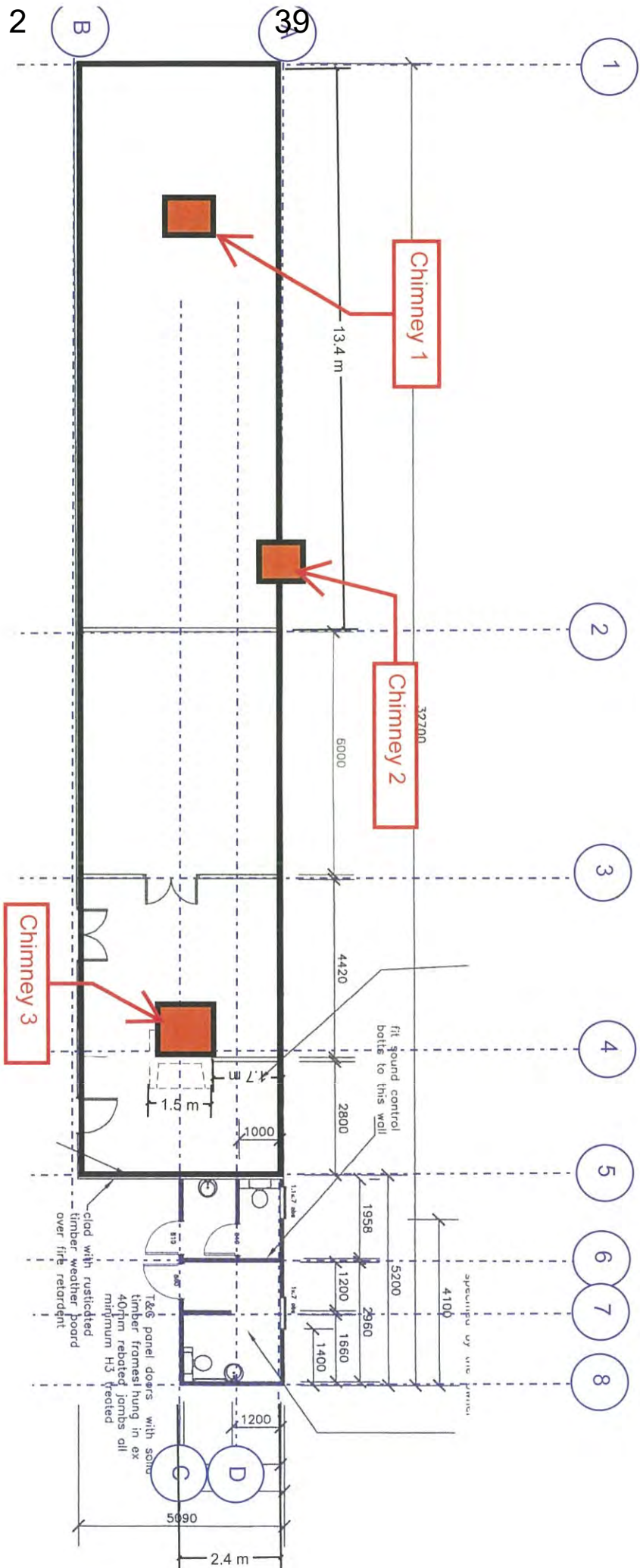
Brick veneer chimney = 1.17 KPa

- Imposed

Self contained dwelling roof = 0.25 KPa

Date: _____

Reviewed: _____



Heavyweight chimneys = 3 significant non structural figures.

MARKED UP STRUCTURAL ENGINEERING SKETCH

Project:	
Title:	
Scale:	Job No.: SK
Date:	Engineer: SM
	Rev:
	Dwg No.: SK

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Case A - Existing situation

Ohakune Railway Station Building
180760 SM

5 of 19
02/01/19

Seismic Load

miyamoto.



AS PER AS/NZS 1170.5: 2004

PENOUT FULL

Importance Level	IL	2	
Design life	DL	50	years
Soil class	Soil_class	D	
	P_ref,ULS	0.002	years
	Ψ_e	0	$\Psi_e = 0.6$ storage live load, or 0.3 for all oth
Ductility	μ	1.25	
Distance to fault	D	20.00	km
Hazard Factor	Z =	0.27	
Performance factor for SLS	S_p,sls	0.70	Ref: NZS1170.5 CL 5.2.1.2
Return period factor for SLS	R_sls	0.25	

Estimate Period

Building type	Other frame		
H_n	5.00	m	Height from base of structure to
K_t	0.05		Ref: CL 4.1.2.2 - commentary
T_from,eq	0.209	s	Ref: CL 4.1.2.2 - commentary
Period	T_1	0.2	seconds Choose value closest to T from

Near fault factor

N_max (T)	1.00	Keep blank unless D <= 20km
N(T,D)_P	1.00	N value for Annual probability o
Near-fault factor	N(T,D) = 1.00	Ref: CL 3.1.6.2
check: N_calcs	OK	
Spectral shape factor	Ch(T) = 3.00	

ULS

Return period factor	R_ULS	1.00	Ref: NZS 1170.5 Table 3.5
Elastic site spectra	C(T) =	0.81	Ref: NZS1170.5 CL 3.1.1
Elastic site hazard	C(T1) =	0.81	
Performance factor	Sp =	0.93	Ref: NZS1170.5 CL 4.4.2
	k_μ	1.14	Ref: NZS1170.5 CL 5.2.1.1
	C_d(T1),ULS,1 =	0.656	Ref: NZS1170.5 Eq 5.2(1)
	C_d(T1),ULS,lim =	0.034	Ref: NZS1170.5 Eq 5.2(2)
Design action coefficient	Cd(T1), ULS =	0.656	

Case A

The ductility of the structure is taken as 1.25 due interaction of the 3 unreinforced brick chimneys against the principal lateral resisting system.

Seismic Load**miyamoto.**

PENOUT

FULL

AS PER AS/NZS 1170.5: 2004

Importance Level	IL	2	
Design life	DL	50	years
Soil class	Soil_class	D	
	P_ref,ULS	0.002	years
	Ψ_e	0	$\Psi_e = 0.6$ storage live load, or 0.3 for all oth
Ductility	μ	3	
Distance to fault	D	20.00	km
Hazard Factor	Z =	0.27	
Performance factor for SLS	S_p,sls	0.70	Ref: NZS1170.5 CL 5.2.1.2
Return period factor for SLS	R_sls	0.25	

Estimate Period

Building type	Other frame		
	H_n	5.00	m
	K_t	0.05	
	T_from,eq	0.209	s
Period	T_1	0.2	seconds

Height from base of structure to
Ref: CL 4.1.2.2 - commentary
Ref: CL 4.1.2.2 - commentary

Choose value closest to T from

Near fault factor

	N_max (T)	1.00	Keep blank unless D <= 20km
	N(T,D)_P	1.00	N value for Annual probability o
Near-fault factor	N(T,D) =	1.00	Ref: CL 3.1.6.2
	check: N_calcs	OK	
Spectral shape factor	Ch(T) =	3.00	

ULS

Return period factor	R_ULS	1.00	Ref: NZS 1170.5 Table 3.5
Elastic site spectra	C(T) =	0.81	Ref: NZS1170.5 CL 3.1.1
Elastic site hazard	C(T1) =	0.81	
Performance factor ULS	Sp =	0.70	Ref: NZS1170.5 CL 4.4.2
	k_μ	2.14	Ref: NZS1170.5 CL 5.2.1.1
	C_d(T1),ULS,1 =	0.265	Ref: NZS1170.5 Eq 5.2(1)
	C_d(T1),ULS,lim =	0.034	Ref: NZS1170.5 Eq 5.2(2)
Design action coefficient	Cd(T1), ULS =	0.265	

Case B

The ductility of the structure is taken as 3.0, part of the remediation solution is to replace the 3 unreinforced brick chimneys figures for light weight replicas.

DEMANDSeismic Loads

- Permanent G:

$$\text{Light weight timber roof} = 0.40 \text{ KPa} \times ((27.5 \times 5.09) + (5.2 \times 2.59)) \text{ m}^2 = 61 \text{ KN}$$

Timber frame external wall

$$\text{Height}/2 = 0.40 \text{ KPa} \times (27.5 + 27.5 + 5.09 + 5.2 + 5.2 + 5.09) \text{ m} \times (3.25/2) \text{ m} = 49.1 \text{ KN}$$

Light weight internal wall

$$\text{Height}/2 = 0.35 \text{ KPa} \times (5.09 + 5.09 + 1.64 + 1.64 + 2.41 + 1.2 + 1.95) \text{ m} \times (3.25/2) \text{ m} = 10.8 \text{ KN}$$

$$3 \text{ Chimney} = 1.17 \text{ KPa} \times (4.08 \times 1.65) \text{ m}^2 + (3.72 \times 2.39) \text{ m}^2 + (4.01 \times 2.72) \text{ m}^2 = 15.6 \text{ KN}$$

$$\text{Medium weight roof of canopy} = 0.50 \text{ KPa} \times (27.5 \times (5.97/4)) \text{ m}^2 = 20.3 \text{ KN}$$

$$\text{Total Q} = 157 \text{ KN}$$

- Imposed Loads Q:

$$\text{Self contained dwelling roof} = 0.25 \text{ KPa} \times ((27.5 \times 5.09) + (5.2 \times 2.59)) \text{ m}^2 = 18 \text{ KN}$$

$$1/4 \text{ of the Roof canopy} = 0.25 \text{ KPa} \times (27.5 \times (5.97/4)) \text{ m}^2 = 10.3 \text{ KN}$$

$$\text{Total Q} = 28.3 \text{ KN}$$

Seismic Forces**Case A****Roof level** (chimneys weight included)

$$W = G + U_E Q = (157) + 0 = 157 \text{ KN}$$

Where $U_E = 0$ (no storage)

$$F = 157 \times 0.656 = 103 \text{ KN}$$

Case B**Roof level** (Exclusion of the 3 unreinforced brick chimneys)

$$W = G + U_E Q = (157) + 0 = 157 \text{ KN}$$

Where $U_E = 0$ (no storage)

$$F = 157 \times 0.265 = 41.5 \text{ KN}$$

(for the case of replacing the existing chimney for light weight replicas we assume a minimum weight and the overall NBS rating would increase)

Date:

Reviewed:

Capacity

miyamoto.	Project No.	180211	Page	of	
	Project Name	Ohakune Rail Station /building - DSA			
	By	SM	Date	7/01/2019	
	Checked	BG			
Spreadsheet Title: Load Rundown					
Element:	Timber frame wall			Version	

Section 9 - NZSEE 2017 Guidelines - Existing timber shear walls capacities:

Bracing Units (kN)

1-sided plasterboard with nailing at 300mm centres (EXTERNAL WALLS)	1.0	kN/m
2-sided plasterboard with nailing at 300mm centres (INTERNAL WALLS)	2.0	kN/m

Table C9.2: Probable strength values for existing timber framed wall bracing systems
(based on 2.4 m wall height) (NZSEE C9 C9.6.2.3 - Seismic assessment guidelines Part C)

Ground Floor - Longitudinal

Element Dimensions	Number	Length	Height	F coeff.	Bracing Units	Capacity
Timber framed walls	A	30.70	3.25	0.74	1.0 =	22.7 kN
Timber framed walls	B	25.50	3.25	0.74	1.0 =	18.8 kN
Timber framed walls	C	3.78	3.20	0.75	1.0 =	2.8 kN
Timber framed walls	D	3.58	2.40	1.00	2.0 =	7.2 kN
						51.5 kN

Ground Floor - Transverse

Element Dimensions	Number	Length	Height	F coeff.	Bracing Units	Capacity
Timber framed walls	1	5.09	3.25	0.74	1.0 =	3.8 kN
Timber framed walls	2	5.09	3.25	0.74	2.0 =	7.5 kN
Timber framed walls	3	3.89	3.25	0.74	2.0 =	5.7 kN
Timber framed walls	4	4.17	3.25	0.74	2.0 =	6.2 kN
Timber framed walls	5	5.09	3.25	0.74	1.0 =	3.8 kN
Timber framed walls	6	5.09	2.40	1.00	2.0 =	10.2 kN
Timber framed walls	7	1.20	2.40	1.00	2.0 =	2.4 kN
Timber framed walls	8	5.09	2.40	1.00	1.0 =	5.1 kN
						44.6 kN

NEW BUILDING STANDARD PERCENT FOUND

miyamoto.	Project No.	180211	Page	of	
	Project Name	Ohakune Rail Station /building - DSA			
	By	SM	Date	7/01/2019	
	Checked	BG			
Spreadsheet Title: Load Rundown					
Element:	% NBS			Version	

Building Rating according to NZSEE 2017 - Section 9

According to the Force-based approach, for the rating of the building we have:

$$\%NSB = (\text{Walls Capacity} / \text{EQ Demand}) * 100$$

Case A

Ground Floor - Longitudinal Direction:	50 %NBS	< 67 %NBS
Ground Floor - Transverse Direction:	43 %NBS	< 67 %NBS

Case B

Ground Floor - Longitudinal Direction:	124 %NBS	> 67 %NBS
Ground Floor - Transverse Direction:	107 %NBS	> 67 %NBS

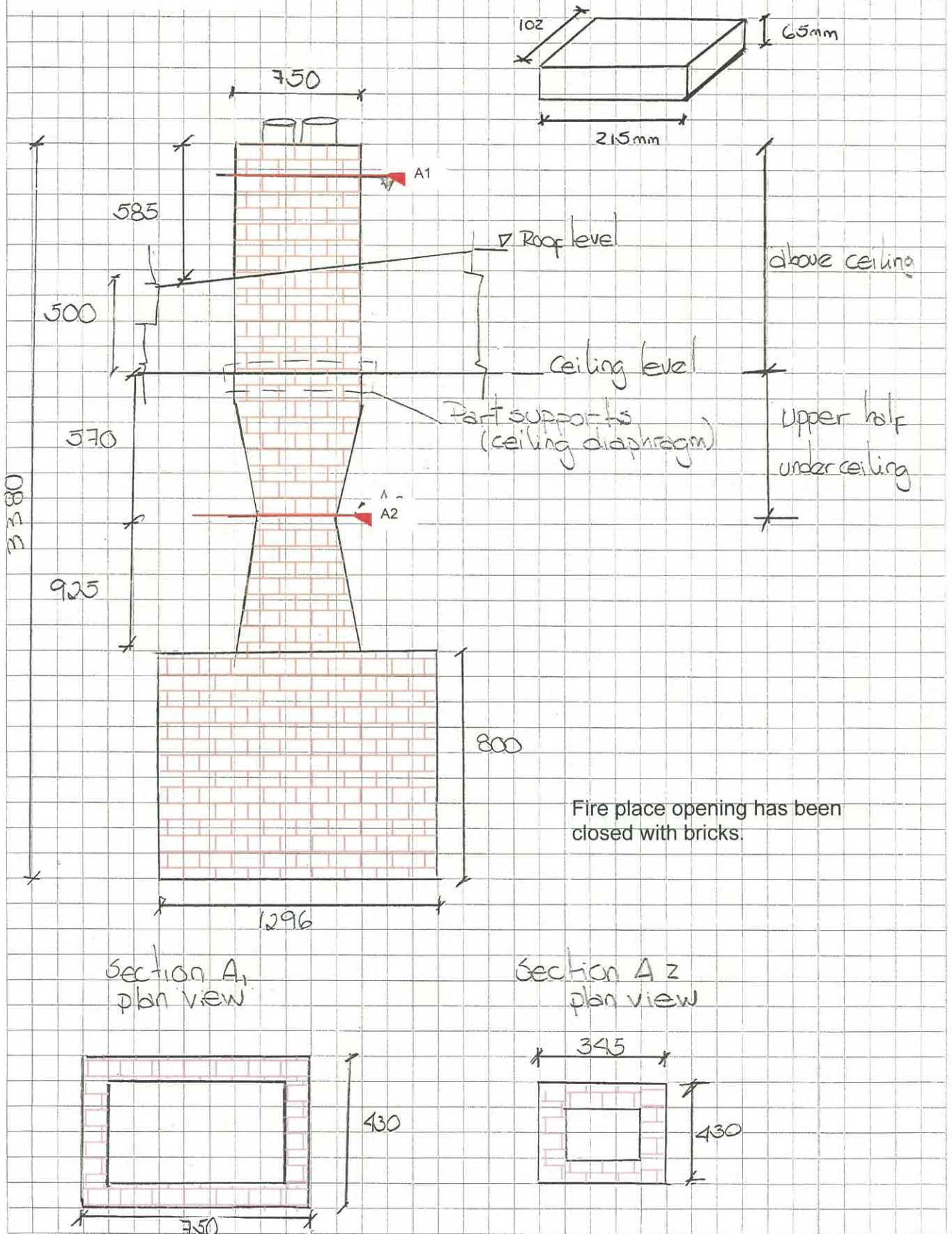
Based in the results above is recommended to remplace the 3 significant elements (URM chimney) for light weight replicas.

Chimney detailed assessment

A condition assessment has been carried out for the three chimneys as part of the critical non-structural elements in the building, which are a safety risk for human lives due their location and assumed lack of connections to the primary structure. The probable capacity and rating has been calculated in accordance with the "Vertical cantilever" section C8 of the guidelines. (ref. C 10.6.2.2)

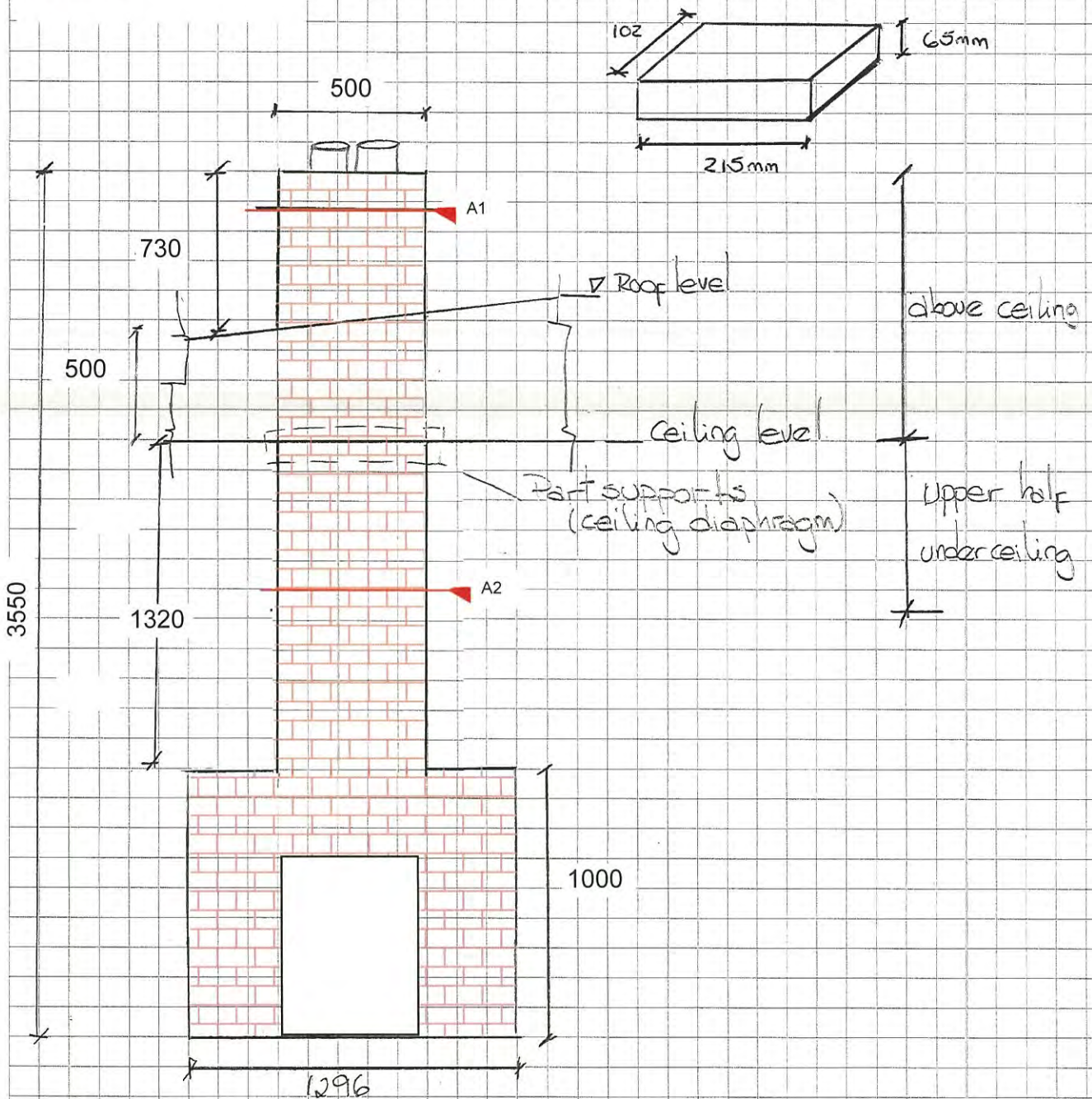
Reviewed: _____ Date: _____

Structural sketches
Chimney 3

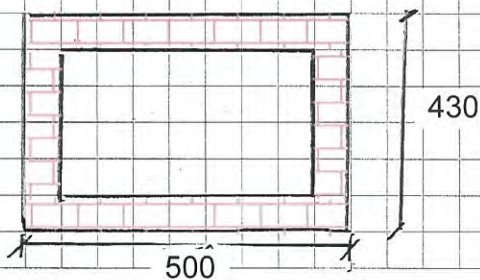


Date: _____
 Reviewed: _____

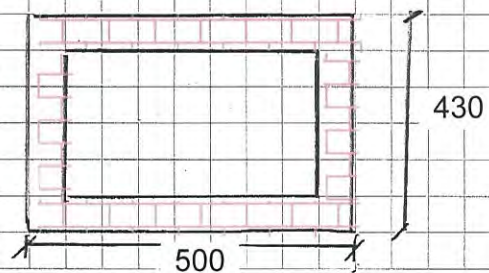
Structural sketches
Chimney 1



Section A₁
 plan view

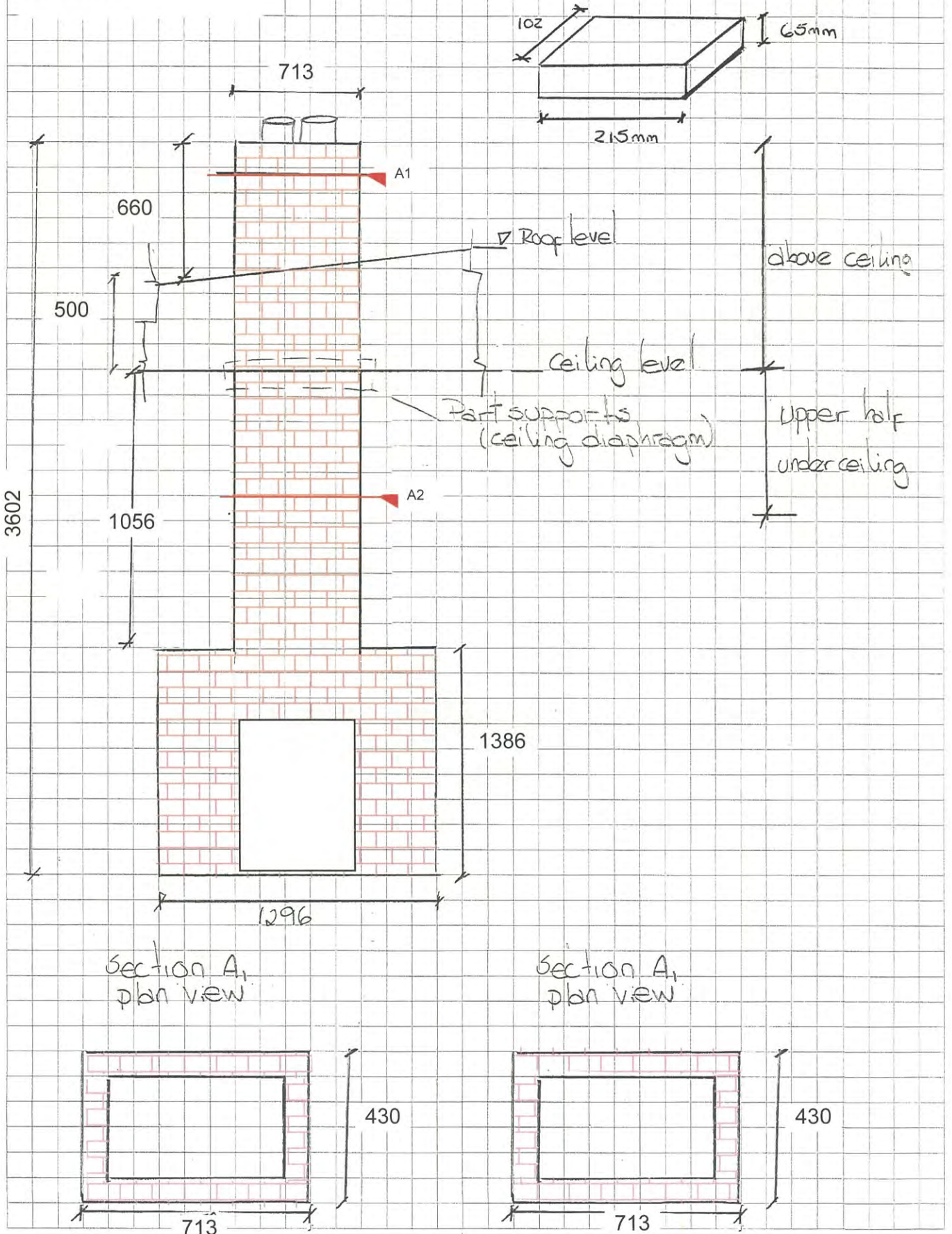


Section A₂
 plan view



Reviewed: _____ Date: _____

Structural sketches
Chimney 2



Date: _____
Reviewed: _____

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180760 SM

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miyamoto. Spreadsheet Title: Element:	Project No.	180211			Page	of
	Project Name	Ohakune Rail Station /building - DSA			Checked	
	By	SM	Date	7/01/2019	Version	1
	Non - structural elements					
Chimneys % NBS						

An independent assessment has been carried out for the three chimneys as part of the critical non-structural elements in the building, which are a safe safety risk for human lives due to their no connections to the primary structural elements and low structural capacity to lateral loads. The probably capacity and rating has been calculated in accordance with the "Vertical cantilever" section C8 of the guidelines. (ref. C 10.6.2.2).

Chimney weight

Chimney	Length 1 (m)	Length 2 (m)	times	Length total (m)	width total (m)	height (m)	Weight (KN)	Height (KN)	Kg	Significant life safety hazard
1							4.1	4.8	422	yes
Above ceiling	0.75	0.43	2	2.36	0.065	1.085	3.0	2.8		
Below ceiling	0.43	0.43	2	1.72	0.065	0.57	1.1	2.0		
2							5.2	4.4	530	yes
Above ceiling	0.5	0.43	2	1.86	0.065	1.23	2.7	2.2		
Below ceiling	0.5	0.43	2	1.86	0.065	1.16	2.5	2.2		
3							6.3	4.7	642	yes
Above ceiling	0.713	0.43	2	2.286	0.065	1.23	3.3	2.7		
Below ceiling	0.43	0.43	2	1.72	0.065	1.493	3.0	2.0		
Brick unit weight (KPa)	1.17					Total Weight (KN)	15.6			

Table C8.6: Unit weights

Material	Unit weight (kN/m ³)
Brick masonry	18

Ref. Assessment guidance - Part C8

Table A4.1: Parts that pose a significant life safety hazard

Parts that could pose a life safety hazard	Expected to be a significant life safety hazard	
	Yes	No
Vertical or horizontal cantilevering elements	Heavy (>25kg) elements (e.g. URM parapets, chimneys, cantilevering concrete beams, canopies)	Lightweight (\leq 25 kg) elements

Ref. Assessment guidance - Part A

The three chimneys are considered a significant life safety hazard. Furthermore, the location of those is not in areas, such as corridors or entryways, where a significant number of people would be at risk in a seismic situation.

NEW BUILDING STANDARD PERCENT FOUND

miyamoto.	Project No.	#REF!		Page	of
	Project Name	Ohakune Rail Station /building - DSA			Checked
Spreadsheet Title:	By	SM	Date	7/01/2019	
Element:	Non - structural elements			Version	1
	Chimneys % NBS				

Critical non-structural elements - Part C - Detailed seismic assessment

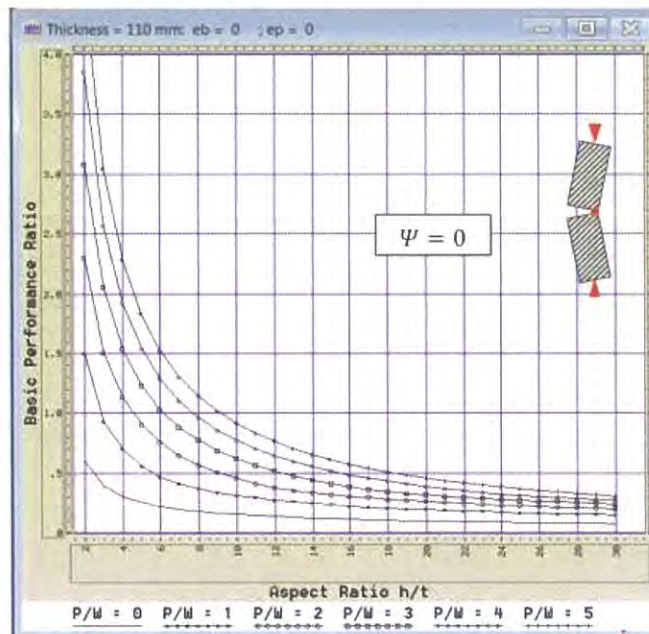
C8C.3 Vertical cantilevers

Chimney	Tgross (m)	H	Slenderne ss ratio (h/tgross)	Weight (KN/m)	P	ep	BPR (Basic performance ratio)	Ch (0)
1	0.13	1.66	12.7	4.8	0	0	0.13	3.00
2	0.13	2.39	18.4	4.4	0	0	0.1	3.00
3	0.13	2.72	20.9	4.7	0	0	0.09	3.00

$$\bullet \quad \%NBS = \frac{\text{Basic Performance Ratio from charts for } h/t}{C_h(0)RZN(T,D)C_{HI}R_P}$$

Chimney	%NBS
1	4.3 < 34 %NBS
2	3.3 < 34 %NBS
3	3.0 < 34 %NBS

BPR (Basic performance ratio) chart for eb=0 and ep=0



(e) For $e_b = 0$ and $e_p = 0$ ($t_{Gross} = 110$ mm)

Ref. Assessment guidance - Part A

- Tgross = Thickness wall
- Thickness of wall assume as double to simplify process.
- H = up mid heigh of chimney
- Ratio = ratio of the height and its plan dimension
- P = Dead load at the top
- ep = Eccentricity of P ,esuared from the centroid of W
- BPR = Basic performance ratio from Appendix C8C: simplified charts for estimation of %NBS

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miyamoto.	Project No.		180211		Page	of
	Project Name		Ohakune Rail Station /building - DSA			
	By	SM	Date	7/01/2019	Checked	
	Spreadsheet Title: Non - structural elements					
Element:		Chimneys % NBS		Version	1	

General rating of non-structural elements

Scores below 15%NBS have no practical meaning, therefore it is recommended that a score or rating not quoted less than 15%NBS.

Based in Table A8 of Part A - Assessment objectives and principles

Table A8.1: Rounding of %NBS earthquake ratings

Raw (Assessed) score	Assigned rating for reporting purposes
0% - 17%	15%NBS
18%	18%NBS

Ref. Assessment guidance - Part A

Therefore:

Non structural elements =	15% NBS	< 34 %NBS
---------------------------	---------	-----------

We consider it necessary to replacem the heavyweight chimneys with lightweight replicas, as to be able to score these non-structural elements as a no life safety hazard.

WEAKNESS POINTS FIND SUMMARY**WALL LINING**

According to NZ3604 the maximum spacing apart of bracing lines recommended is 6 meters. Due the grid 1 and 2 are 14 m apart, much greater than 6 m, therefore we recommend that a suitable ceiling diaphragm be designed and installed. This diaphragm will also provide transference of the seismic forces from the chimney to the wall lining.

CHIMNEY

The 1.8 meters height of the chimney above roof is consider as a risk element for life safety and is recommended that three chimneys should be demolished and replaced by suitable light weight, replicas and reinforced as per the suitable option described and sketched in "Repairing and rebuilding houses affected by the Canterbury earthquakes – 2012 and additional updates".

ROOF BRACING

A further inspection should be carried out to confirm evidence roof diaphragm, no evidences of this has been identified in the information reviewed. We recommend that a suitable ceiling diaphragm be designed and installed.

SUB FLOOR BRACING

Visual inspection has been undertaken to the sub-floor space. The height of the timber piles are between 600 and 700 mm, therefore based in the criteria of document of seismic assessment Part C 9 clause C9.4.4.6 the capacity of the sub-floor in this building should not govern the %NBS earthquake rating for the building. Furthermore poor connection of the floor framing to the timber pile is common and it should be improved.

One of timber piles is not connected to the bearer and further inspections should be carried out to confirm and solve the apparent absence of connection.

Date:

Reviewed:

LEVEL OF MAINTENANCE OF THE CANOPY STRUCTURE

The general condition of maintenance of the canopy is good taking into account the year the building was constructed. It is recommended the fixing connections of the canopy to the main structure, be checked.

SUMMARY

1. Apart from the chimneys, the building is considered to have capacity of 20 %NBS.
2. It is recommended that chimneys be demolish and replaced by suitable light weight replicas.
3. It is recommended that connections between the piles and bearers, canopy connections, and ceiling diaphragm, be checked, and strengthened if necessary.

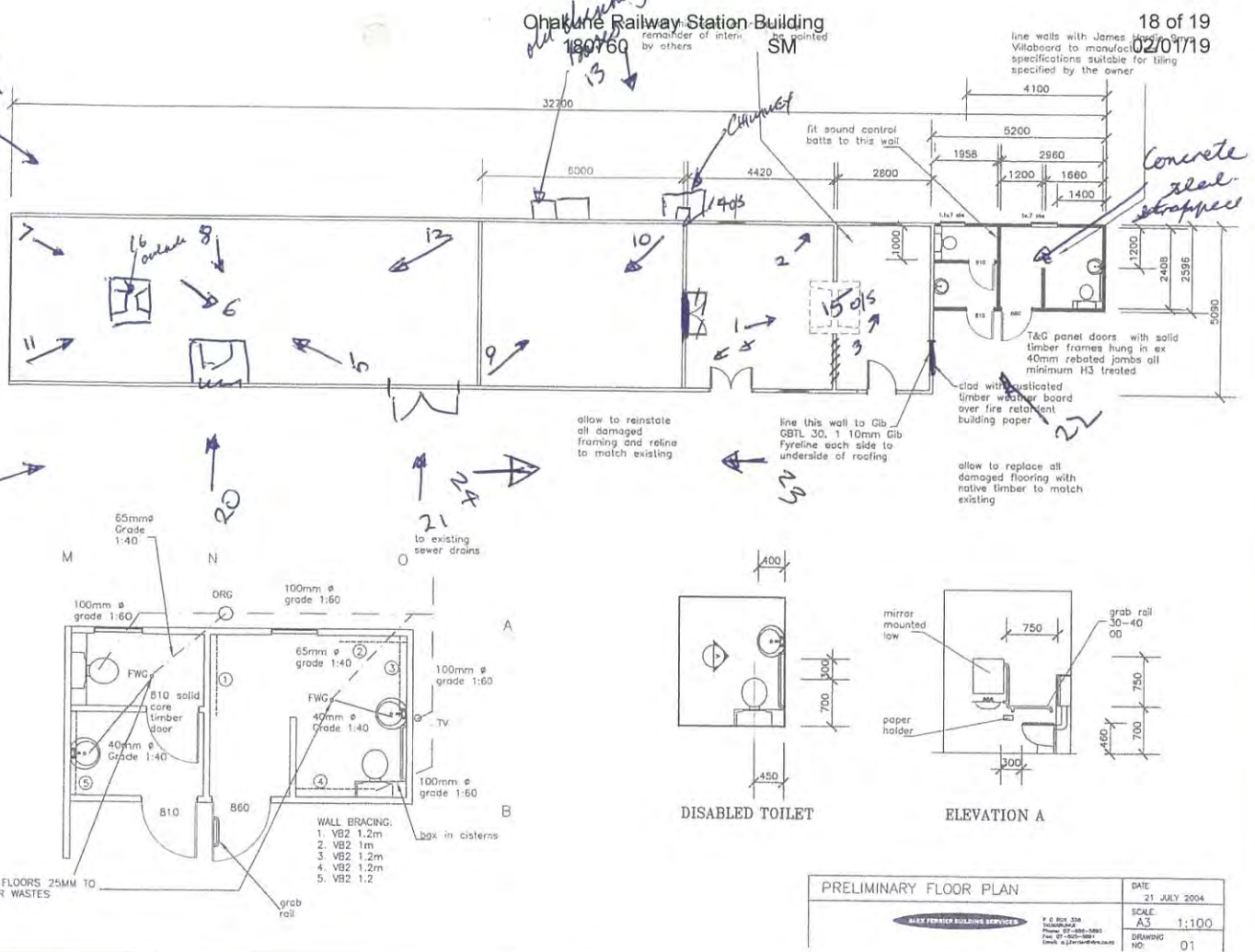
% NBS - Summary

Overall structure = 15% NBS

Non structural elements = 15% NBS

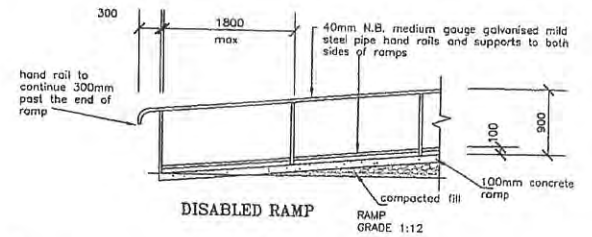
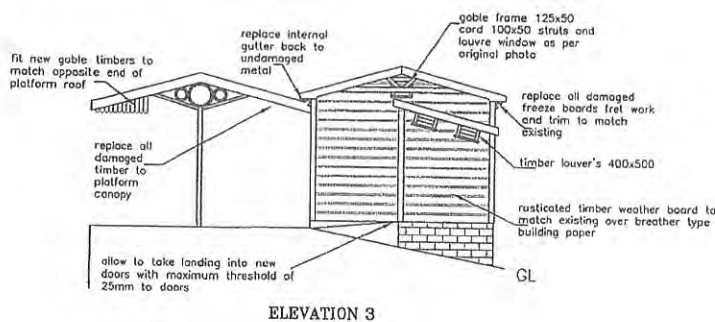
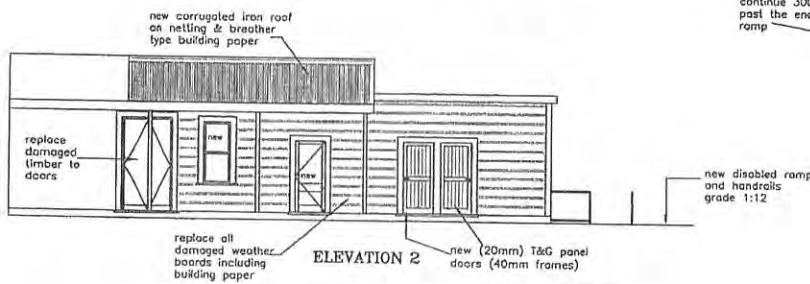
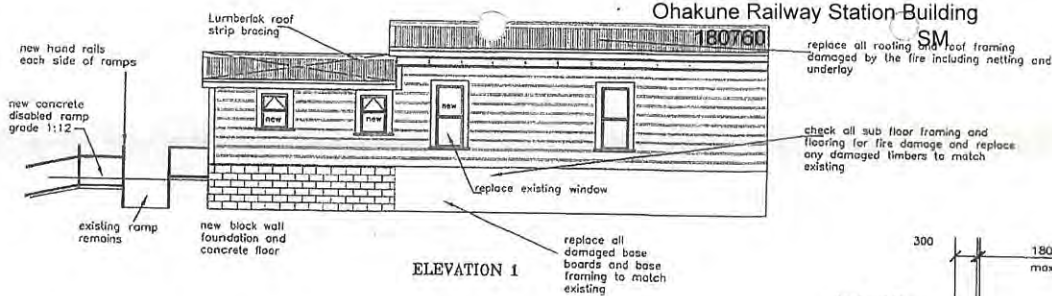
The scores show above are in the case that the heavyweight chimneys are not replaced and are restrained into primary structural elements at roof space.

Reviewed: _____ Date: _____

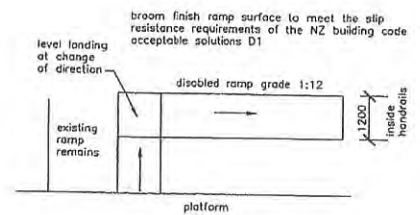


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hand rail supports to be fully embedded in concrete with minimum 75mm around all sides



NOTE: all glazing to be Toughened safety glass minimum 6mm thick and to comply with NZS 4223

ELEVATIONS & RAMP DETAILS		DATE
0 8 070 024 100 HARBOUR PH: 04-225-1080 FX: 04-225-1081 Email: alex@alexforbes.co.nz		21 JULY 2004
		SCALE A3 1:100
		DRAWING NO. 03

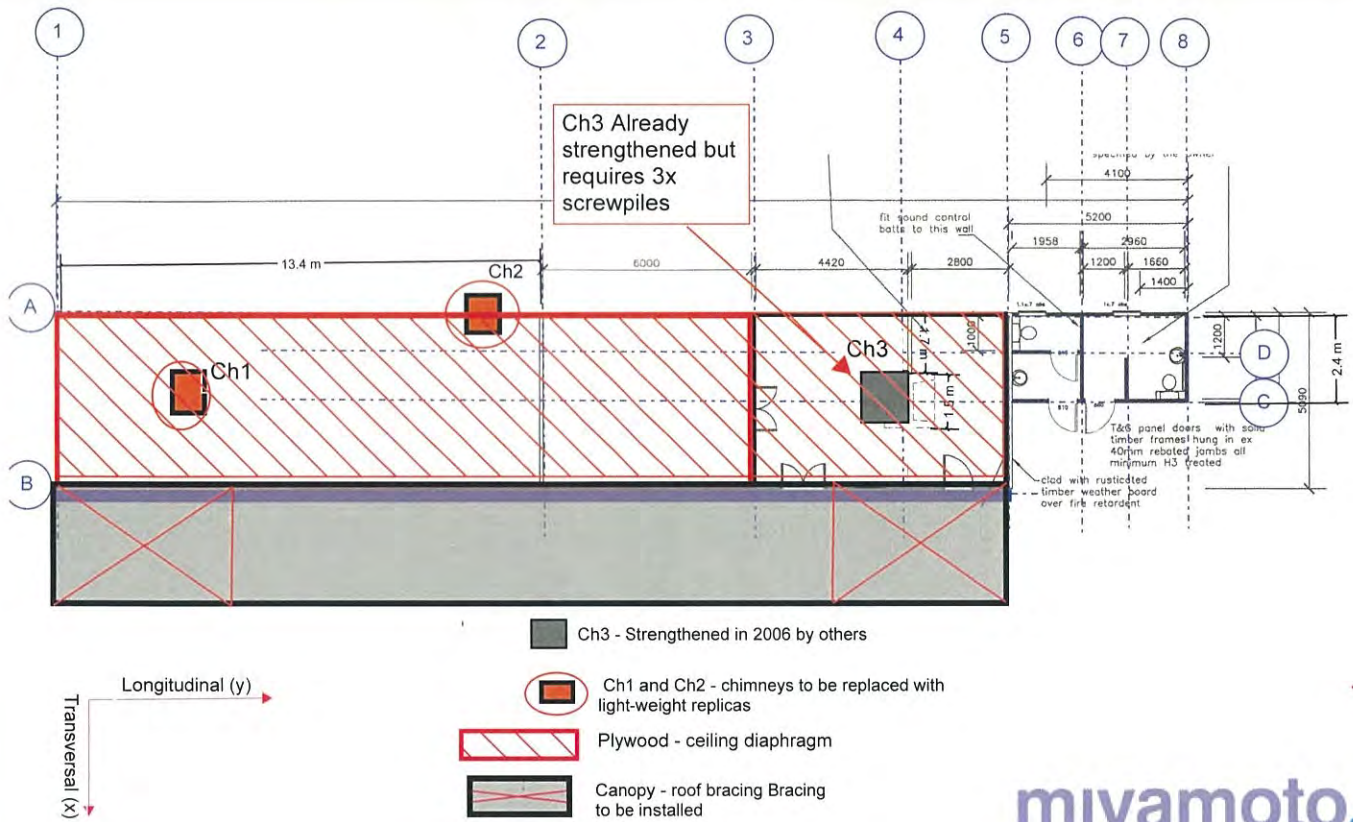
Appendix C. Concept Strengthening Design Drawings



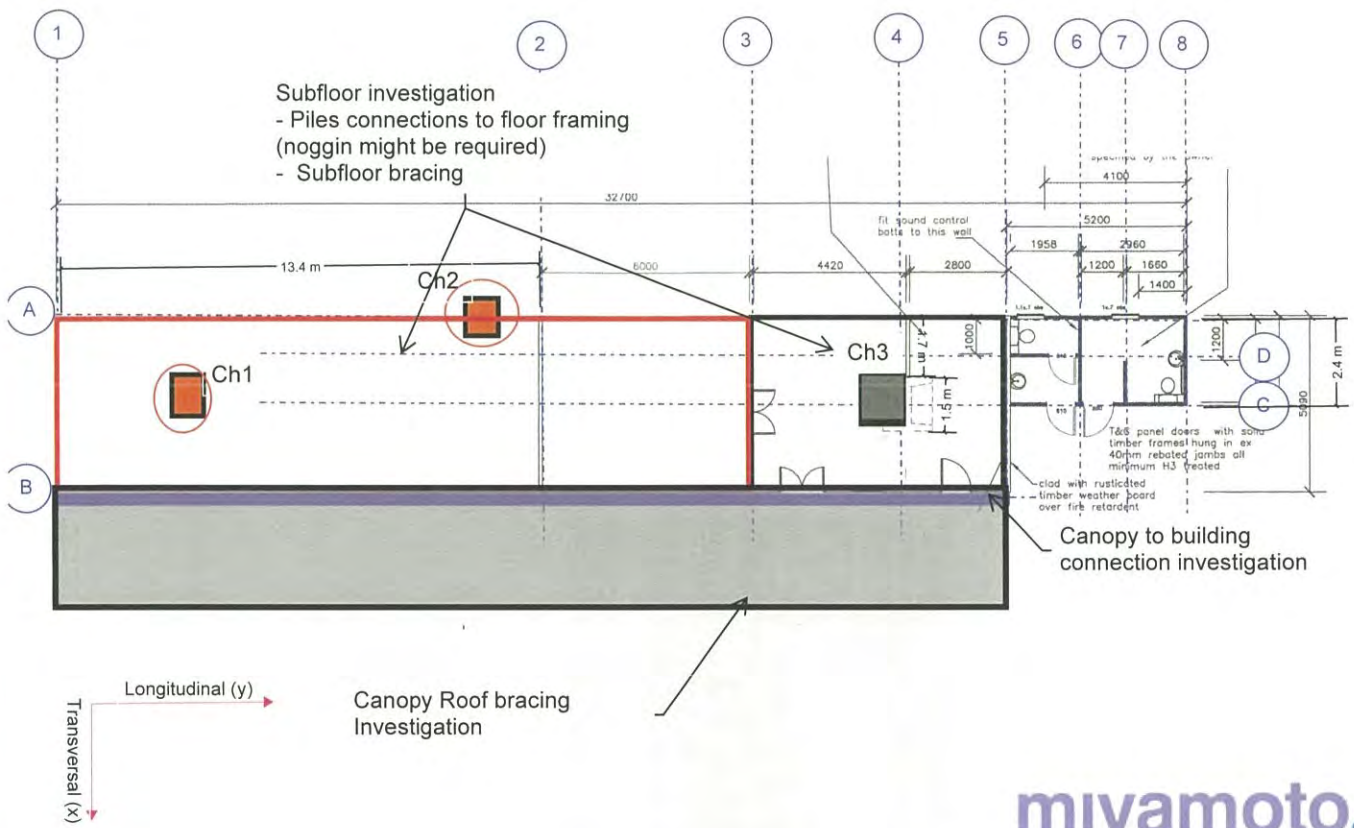
Plan view - ground level
Proposed Strengthening

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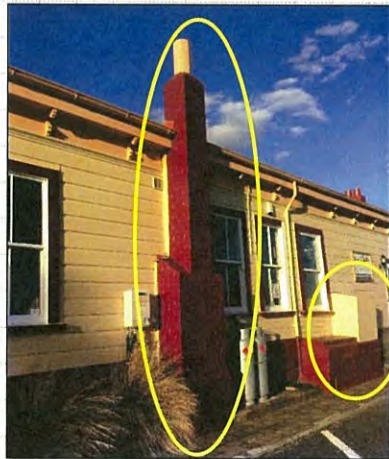
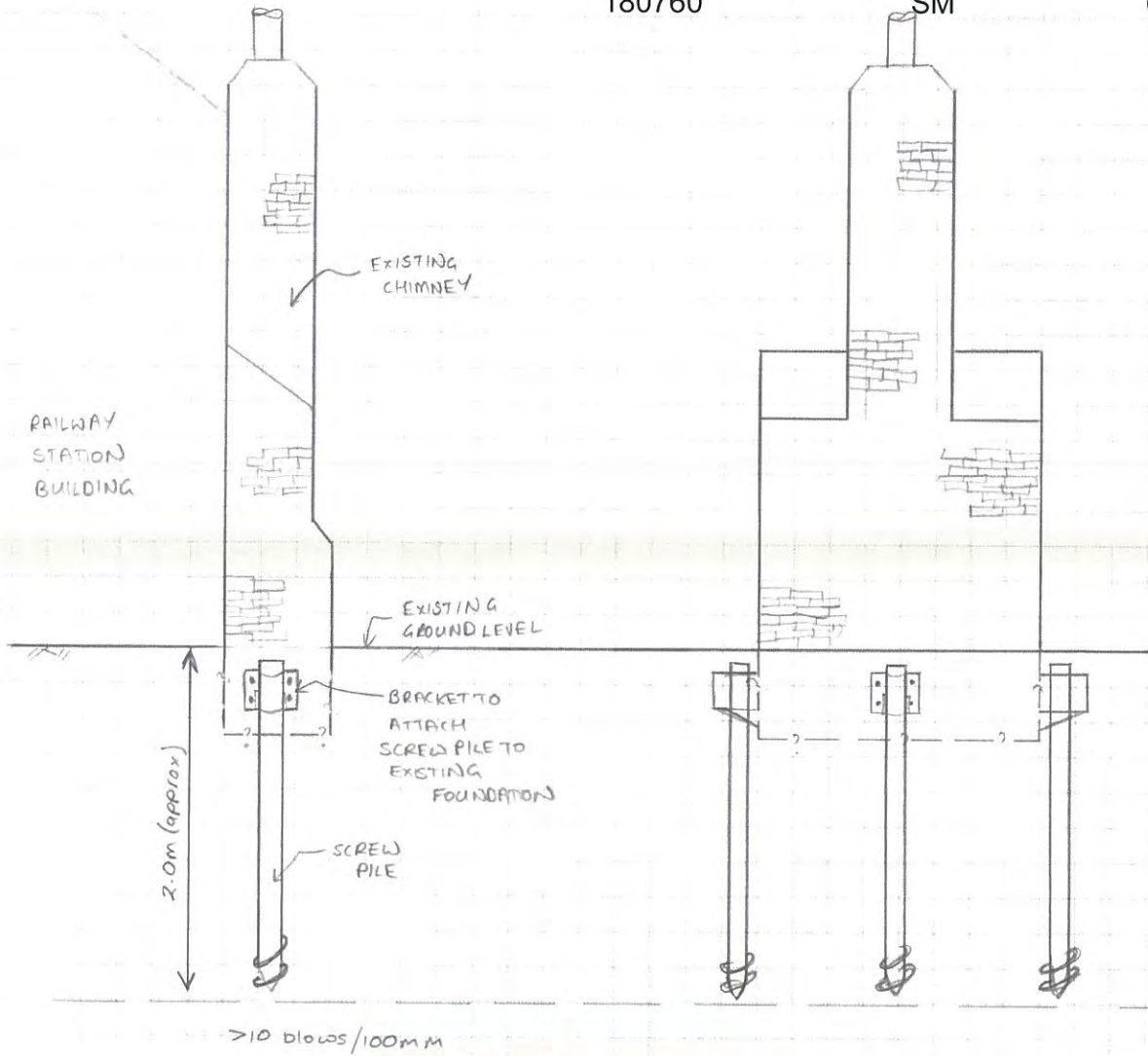
Plan view - investigations



SCREW PILES

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180760

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02/17/20



Note: Piles shown for Chimney 2 which is not required, this is only required for Chimney 3.
3x screw piles to be assumed for Chimney 3.







Ref. Cheal report.

Photo 1: Ohakune Railway Station

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<h1 style="margin: 0;">cheal</h1>	Notes				Drawing Title	
	Ruapehu District Council Ohakune Railway Station 31 Thames Street, Ohakune				FOUNDATION REMEDIATION OPTIONS	
	Designed	Checked	Approved	Date	Scale	Drawing Number
MF			9/5/17	NTS	17109-SK101	

Appendix D. Photography report from Site Visit

 <p>Exterior wall – Grid A</p>	 <p>Exterior wall – Grid 1</p>
 <p>Chimney 3</p>	 <p>Chimney 3</p>
 <p>Chimney 2</p>	 <p>Chimney 1</p>





Roof space



Canopy



Subfloor



Subfloor



Appendix E. Maltbys Concept Cost Estimate





MALTBYS

DEFINING COSTS · MANAGING RISK · DELIVERING RESULTS

Ohakune Railway Station

CONCEPT ESTIMATE Rev 1

for Miyamoto International

2 April 2020

**DEFINING COSTS, MANAGING RISK AND DELIVERING
RESULTS THAT ADD VALUE FOR OUR CLIENTS**



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Introduction

Maltbys Limited (Maltbys) have been commissioned by Miyamoto International (the Client) to prepare this estimate for Ohakune Railway Station.

This report is subject to a range of clarifications and exclusions that must be considered in conjunction with the estimate. Specific exclusions noted herein should be considered separately if required.

This report has been prepared for the sole use of the Client only for the purpose set out in our Letter of Appointment. We neither acknowledge nor accept any other duty of care in respect of the report or the contents thereof, and any person other than the Client who rely upon the report or any part thereof without direct reference to a written authorisation by a Director of Maltbys Ltd does so in all respects at that person's risk.



Executive Summary

Construction Estimate

Total Construction Cost	\$ 235,000.00
Professional Fees	Excluded
Building / Resource Consent	Excluded
Escalation	Excluded
Project Contingency	Excluded
GST	Excluded

This estimate has been costed at current rates and prices as set out below, with no allowance made for escalation through to construction start.

A definitive list of clarifications and exclusions is contained within the Methodology section of this report. Where appropriate, allowances for these exclusions should be made in the overall development budget.

Full details of the cost estimate are included within the appendix attached.



Methodology

Basis of Estimate

Maltbys have prepared this elemental estimate from the following information provided by Email on 26 February 2020 from Miyamoto:

- 2020.02.18 Updated DSA Report -Full package.pdf

Plus follow up email of 31 March 2020.

This estimate assumes that competitive tenders will be called and that works will be completed under a single contract.

This estimate has been prepared on an Elemental basis. Rates and prices are current as at March 2020.

The following design documentation has not been sighted in the preparation of this estimate:

- Architectural Drawings / Specifications
- Structural Drawings / Specifications
- Building Services Drawings / Specifications
- Civil Services Drawings / Specifications
- Geotechnical report
- Asbestos Report
- Acoustic Report

The following allowances / assumptions are included in this estimate:

- | | |
|--|-----------------------------|
| • Preliminary & General Costs based on | 3 Month Construction Period |
| • Contractors Margin | 10% |
| • Unmeasured Sundries | Included |

Note that the Unmeasured Sundries sum is integral to the overall estimate total and is a general allowance for sundry unmeasured items and assumptions made for construction details not shown.



Items Specifically Excluded

The following items have been specifically excluded from this estimate:

- Goods & Services Tax (GST)
- Resource Consent and processing fees
- Local Authority charges, fees and contributions (e.g. Building Consent)
- Project Contingency
- Professional Fees
- Insurance costs
- Internal costs
- Legal fees
- Finance Costs
- Site surveying fees
- Asbestos or other hazardous materials
- Effect of inflation or market conditions from the date of this estimate
- Unforeseen ground conditions
- Moving and decanting costs
- Furniture, fittings & equipment
- Blinds and curtains
- Material shortages and delays
- Remedial or replacement work to structure where linings removed
- Sub floor work (Inspection only allowed)
- Please refer to estimate for additional specific exclusions



Appendices

SEISMIC RESTRENGTHENING ESTIMATE REV1

ESTIMATE SUMMARY

Remove existing Chimney and replace with timber framed, eterpan clad lightweight chimney

2m deep screw piles to existing chimney, including brackets, and making good around pile

New enclosed steel firebox (assume wood burner type)

Remove and replace section of roof, including new diaphragm and rafters

Remove existing wall linings to allow an inspection of timber framing (remedial works may be required) and then install new specifically design GIB Braced wall linings.

Remove existing wall linings to allow an inspection of connections between the canopy and existing braced walls (remedial works may be required) and then install canopy bracing under the roof level.

Check bearers are attached to piles.

Work to existing foundations

Allowance for services works

Preliminary and General

Margin (10%)

Unmeasured Sundries

Unit	Qty	Rate	Cost
No	2	17,000.00	34,000
No	3	4,500.00	13,500
No	2	3,000.00	6,000
m2	138	600.00	82,800
m2	155	160.00	24,800
m2	86	370.00	31,820
PSum	1	2,500.00	2,500
Note	Excl		
Sum	1	5,000.00	5,000
			13,000
			21,580
Note	Incl		
TOTAL SEISMIC RESTRENGTHENING ESTIMATE REV1 \$			235,000



Preliminary and General

- 12 Lump Sum & Cost related P&G
- 13 Time Related P&G (Period to be confirmed)

Unit	Qty	Rate	Cost
Sum	1	2,200.00	2,200.00
Month	3	3,600.00	10,800.00
TOTAL PRELIMINARY AND GENERAL \$			13,000.00



MALTBYS DEFINING COSTS · MANAGING RISK · DELIVERING RESULTS			
Ref		Initials	Date
1	QA Procedures Completed		2/4/2020
2	Document Production Check		2/4/2020
3	Signed Off – Author		2/4/2020
4	Signed Off – Director		2/4/2020

16 October 2020

Julia Fincham
Ruapehu District Council
Private Bag 1001
Taumarunui 3946
Email: Julia.fincham@ruapehudc.govt.nz

Subject: Concept Strengthening for Chimneys at Ohakune Railway Station

Project Number: **180760**

Dear Julia,

Please find attached 4 sketches (SK01 to SK04) showing the proposed concept strengthening for the 3 brick chimneys at the Ohakune Railway Station. Chimneys 1 and 3 are internal and are currently operational. The intention is to keep these operational after seismic strengthening.

Chimney 2 is external and is already boarded over. The strengthening proposed will mean this chimney will remain as not operational.

The geotechnical investigations done previously indicate that the soil has a very low bearing capacity. Screw piles were proposed previously for the external chimney (Chimney 2) to improve the foundation. It would be very difficult however, to install screw piles to the existing internal chimney foundations (chimneys 1 and 3). Instead it is proposed to strengthen the floor diaphragm and stiffen the subfloor perimeter to provide improved lateral bracing and to only take vertical loads in bearing below the internal chimneys. No screw piles are proposed in the updated concept.

If you have any queries or comments please contact us.

If you are happy with the concept design please let us know and, we would be pleased to provide a fee proposal for the detailed design of strengthening for the chimneys and overall building.

Yours sincerely

Rebecca Sanders

CPEng, CMEngNZ
Senior Structural Engineer
M +64 (027) 241 4548

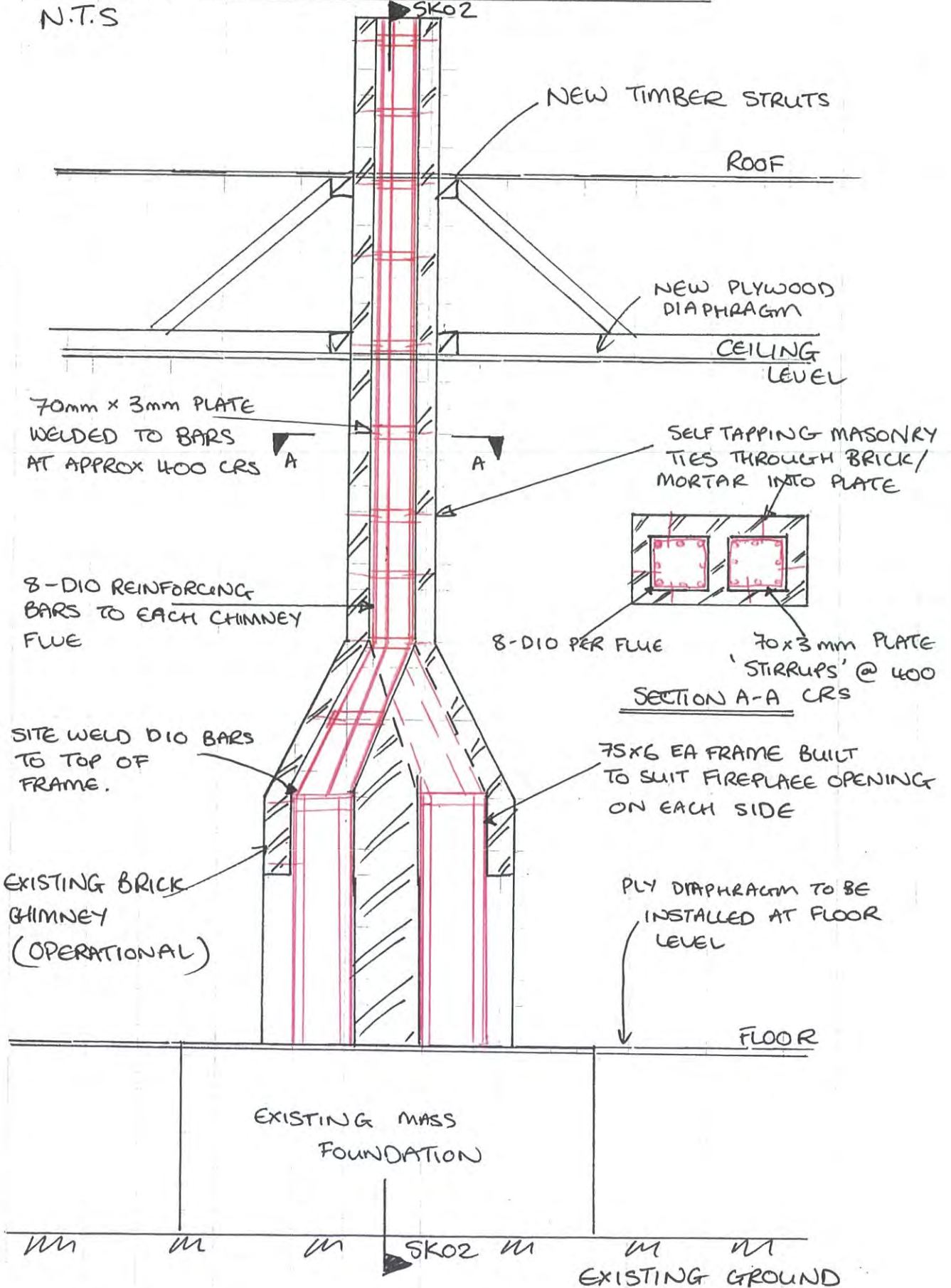
Rebecca.sanders@miyamoto.nz

cc. Ian Bowman – ian@ianbowman.co.nz

enc. Sketches SK01 to SK04 dated 16/10/2020

SK01 - STRENGTHENING FOR CHIMNEY 1 - CONCEPT

N.T.S

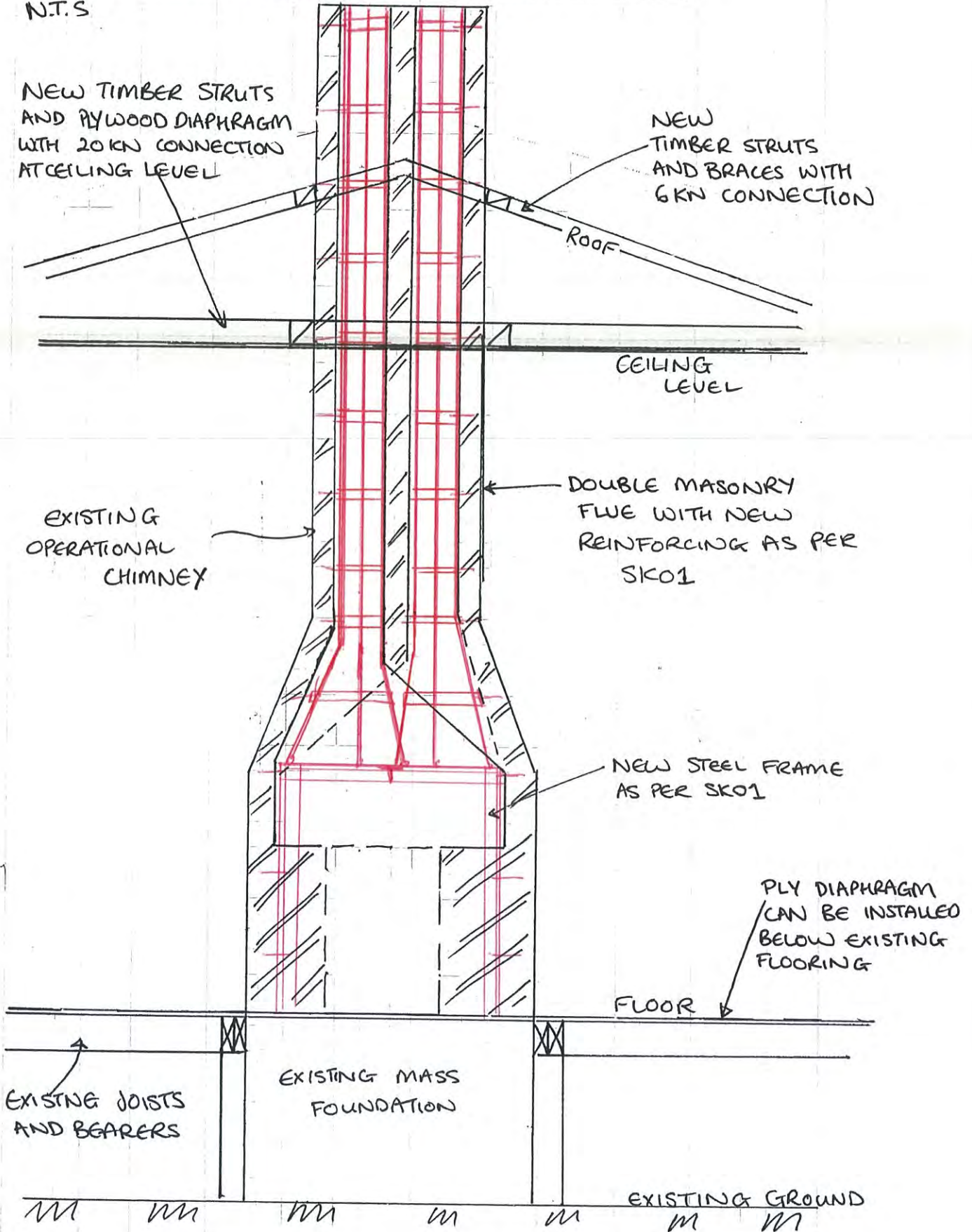


Date:

Reviewed:

SK02 - STRENGTHENING FOR CHIMNEY ① - CONCEPT

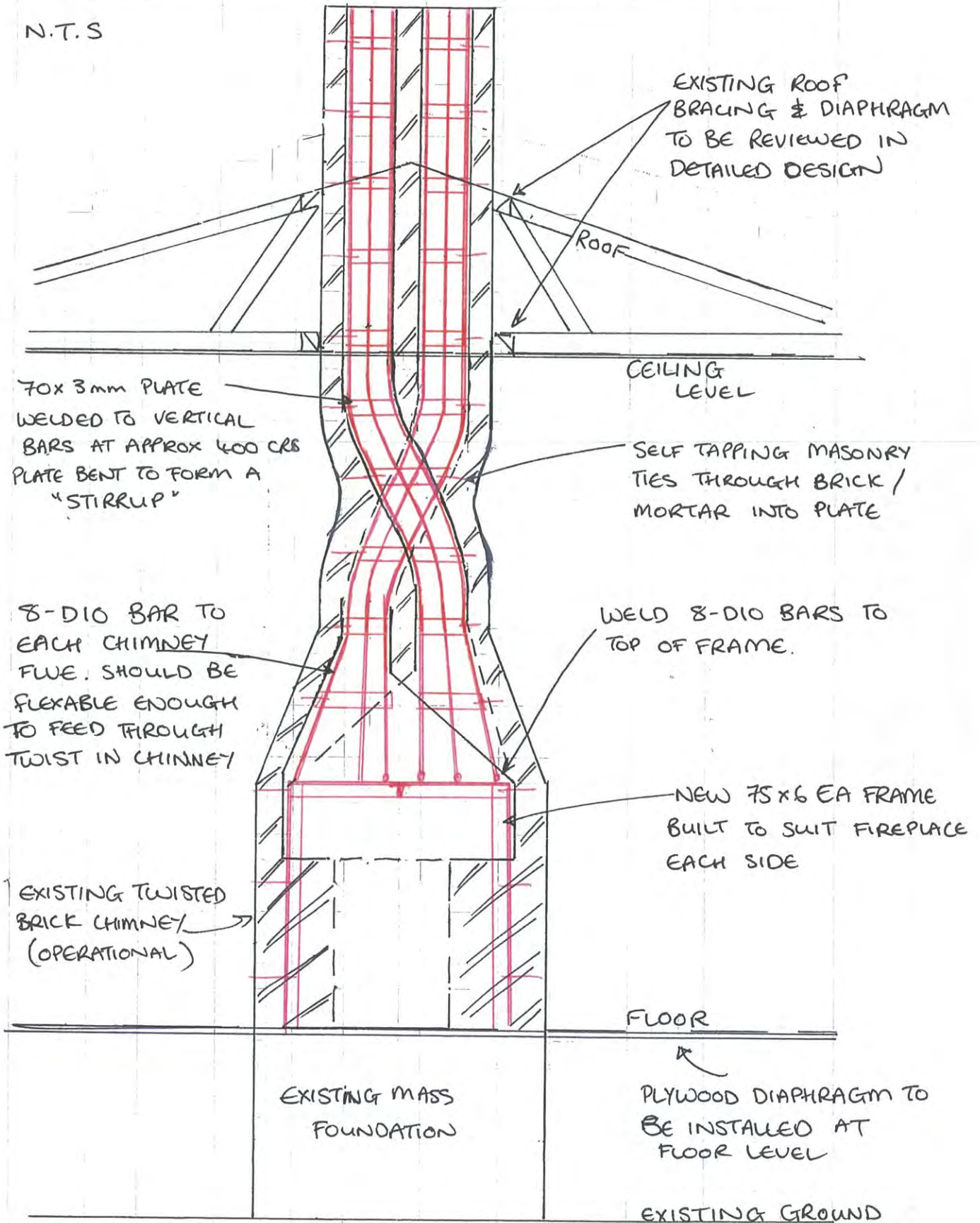
N.T.S



Date: _____
Reviewed: _____

SIKOB - STRENGTHENING FOR CHIMNEY 3 - CONCEPT

N.T.S

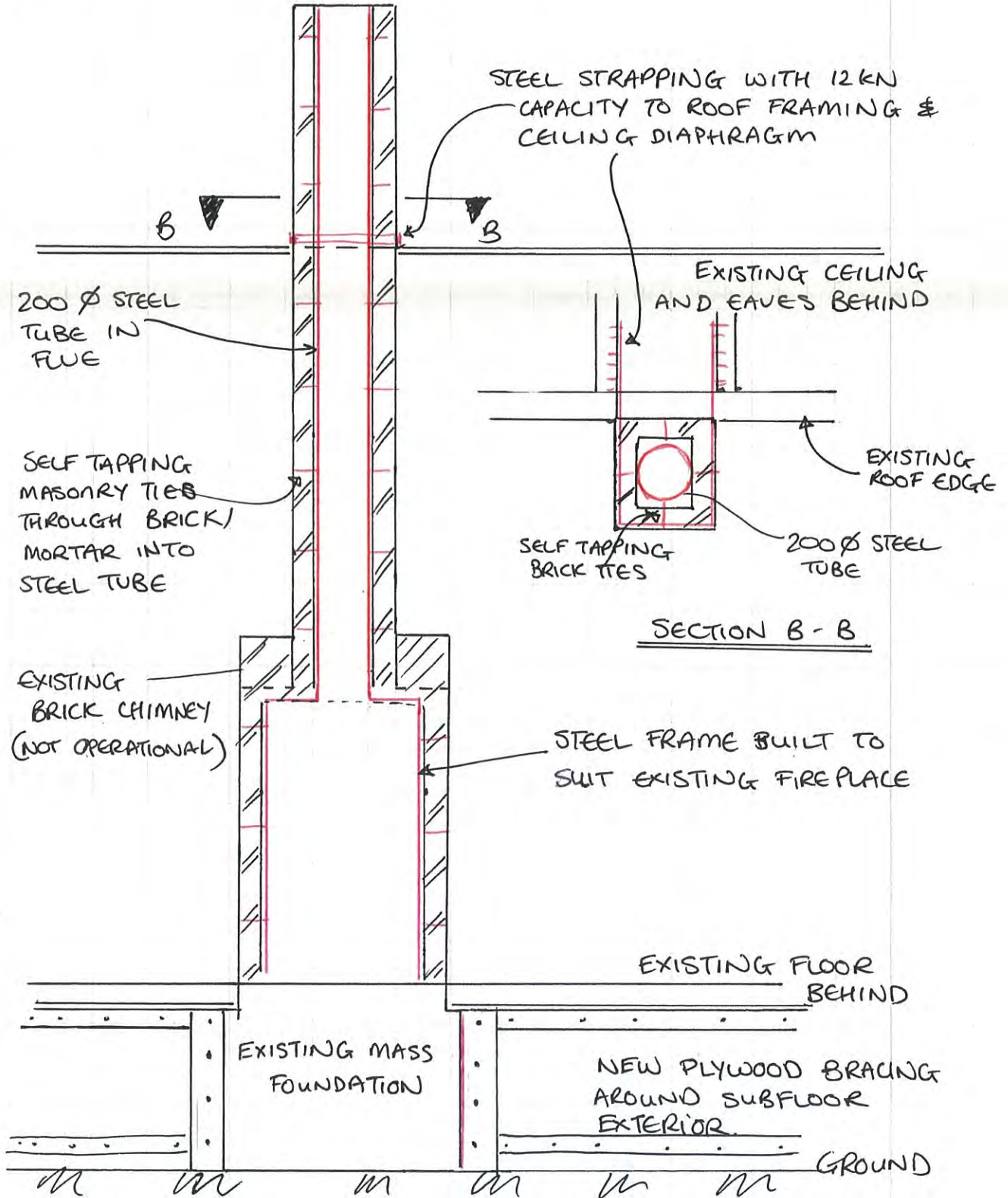


Date:

Reviewed:

SK04 - CHIMNEY 2 STRENGTHENING - CONCEPT

N.T.S



Date:

Reviewed:



MALTBYS

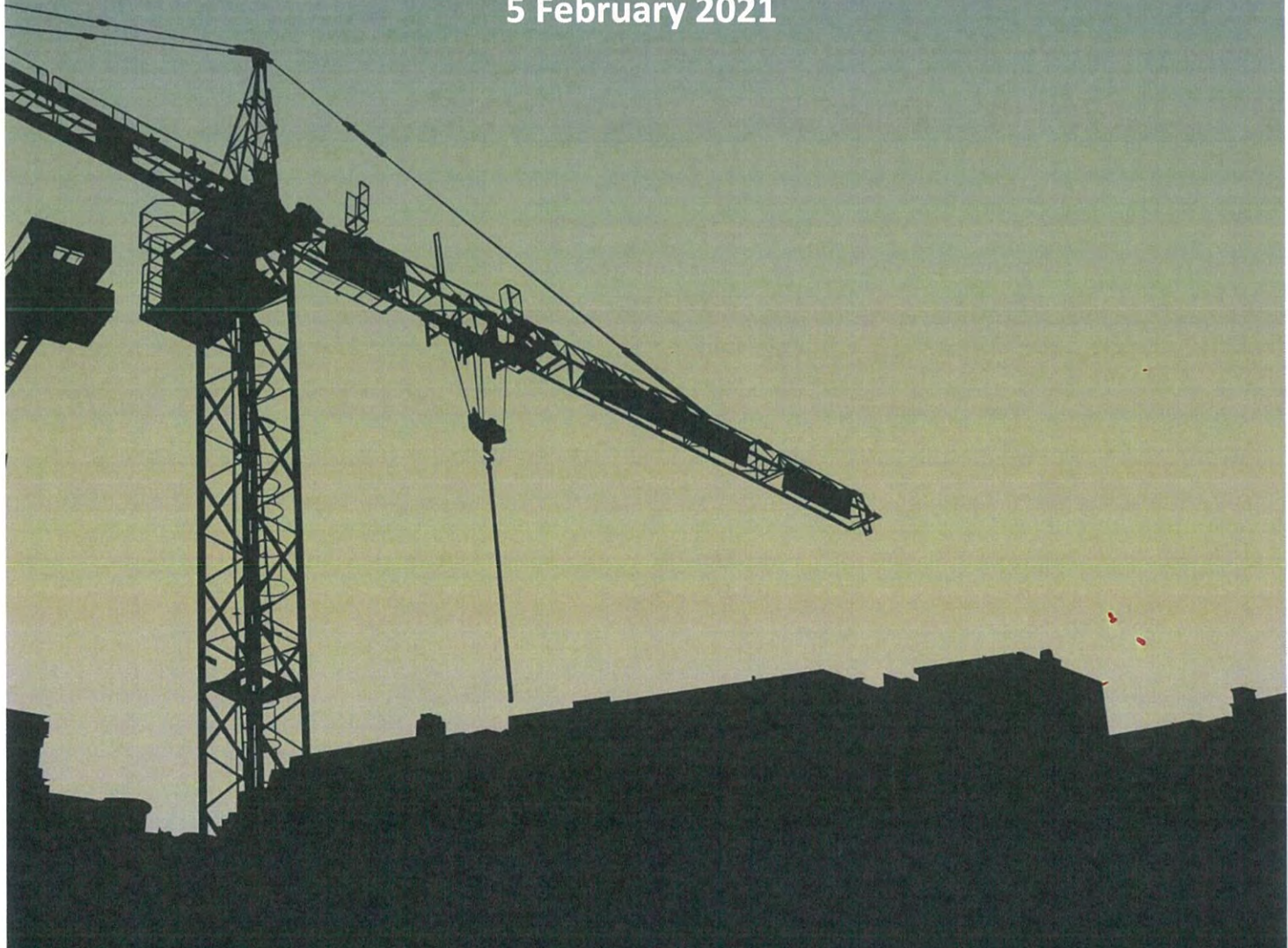
DEFINING COSTS · MANAGING RISK · DELIVERING RESULTS

Ohakune Railway Station – Chimney Strengthening

CONCEPT ESTIMATE

for Miyamoto International

5 February 2021



**DEFINING COSTS, MANAGING RISK AND DELIVERING
RESULTS THAT ADD VALUE FOR OUR CLIENTS**



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Introduction

Maltbys Limited (Maltbys) have been commissioned by Miyamoto International (the Client) to prepare this estimate for the proposed chimney strengthening project at Ohakune Railway Station.

This report is subject to a range of clarifications and exclusions that must be considered in conjunction with the estimate. Specific exclusions noted herein should be considered separately if required.

This report has been prepared for the sole use of the Client only for the purpose set out in our Letter of Appointment. We neither acknowledge nor accept any other duty of care in respect of the report or the contents thereof, and any person other than the Client who rely upon the report or any part thereof without direct reference to a written authorisation by a Director of Maltbys Ltd does so in all respects at that person's risk.



Executive Summary

Construction Estimate

1. Chimney Strengthening Works	\$128,200.00	
2. Associated Works	<u>\$103,800.00</u>	
Total Construction Cost		\$ 232,000.00
		Excluded
Professional Fees		Excluded
Building./ Resource Consent		Excluded
Escalation		Excluded
Project Contingency		Excluded
GST		Excluded

Although we have shown the cost of the works directly associated with the strengthening of the chimney separately from the “associated works” (such as ceiling and sub-floor bracing), we understand that all works are required to be undertaken. We have therefore prepared this estimate on the basis that all works will be completed as a single stage under one contract.

This estimate has been costed at current rates and prices as set out below, with no allowance made for escalation through to construction start.

COVID-19 represents a significant disrupter to all industries, including construction. The ongoing impact of this virus on the construction industry, particularly in relation to time and cost is yet to be confirmed. This should be monitored closely as the project develops.

A definitive list of clarifications and exclusions is contained within the Methodology section of this report. Where appropriate, allowances for these exclusions should be made in the overall development budget.

Full details of the cost estimate are included within the appendix attached.



Methodology

Basis of Estimate

Maltbys have prepared this elemental estimate from the following information provided by Miyamoto:

- Miyamoto drawings SK1-SK4 received by email dated 6/11/20
- Photos provided by Dropbox link dated 27/11/20
- Discussions with Miyamoto

We note that the drawings SK1-SK4 are not to scale. Therefore, Maltbys have approximated dimensions based on other information provided to us for earlier estimates (e.g. the DSA dated 18 February 2020).

SH1-SK4 do not detail ceiling or sub-floor bracing and therefore this has been based on our discussions with Miyamoto and areas calculated from the DSA dated 18 February 2020).

We have made a number of assumptions in relation to buildability (refer to estimate details) and these should be reviewed as the design progresses.

This estimate assumes that competitive tenders will be called and that works will be completed under a single contract. We have assumed no restraint on access during the construction period.

This estimate has been prepared on an Elemental basis. Rates and prices are current as at February 2021.

The following design documentation has not been sighted in the preparation of this estimate: •

- Architectural Drawings / Specifications
- Building Services Drawings / Specifications
- Asbestos Report

The following allowances / assumptions are included in this estimate:

- | | |
|--|-----------------------------|
| • Preliminary & General Costs based on | 3 Month Construction Period |
| • Contractors Margin | 10% |
| • Unmeasured Sundries | 15% |

Note that the Unmeasured Sundries sum is integral to the overall estimate total and is a general allowance for sundry unmeasured items and assumptions made for construction details not shown.



Items Specifically Excluded

The following items have been specifically excluded from this estimate:

- Goods & Services Tax (GST)
- Resource Consent and processing fees
- Local Authority charges, fees and contributions (e.g. Building Consent)
- Project Contingency
- Professional Fees
- Insurance costs
- Internal costs
- Legal fees
- Finance Costs
- Site surveying fees
- Effect of inflation or market conditions from the date of this estimate
- Staging of the works
- Asbestos or other hazardous materials
- Work to foundations (e.g. screw piles) or other unforeseen ground conditions
- Alterations to existing sub-floor piling or floor framing
- Works to existing floor and ceiling linings (e.g. to remain in place)
- Works to existing walls and wall linings
- No new or replacement fire boxes or flues, or bringing existing fireplaces up to current code
- Redecoration
- Upgrade of existing services
- Accessibility improvements
- Moving and decanting costs
- Furniture, fittings & equipment
- Blinds and curtains
- Covid-19 related delays or material shortages
- Please refer to estimate for additional specific exclusions



Appendices

H2046 CHIMNEY STRENGTHENING



CONCEPT ESTIMATE - 1. CHIMNEY WORKS

ESTIMATE ELEMENTAL SUMMARY

Unit	Qty	Rate	Cost
			9,200
			21,483
			8,449
			19,383
			42,906
			10,200
			16,579

TOTAL CONCEPT ESTIMATE - 1. CHIMNEY WORKS \$			128,200
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All figures are exclusive of GST unless specifically stated otherwise

H2046 CHIMNEY STRENGTHENING



CONCEPT ESTIMATE - 1. CHIMNEY WORKS

	Unit	Qty	Rate	Cost
General/Other Works				
1 The following works are not directly related to the strengthening of the chimneys, but we understand they are required to be undertaken at the same time. We have shown the cost separately, but have prepared the estimate on the basis that all works are undertaken as one contract:-	Note			
2 Allowance for works relocating existing services affected by the works	Note			
3 Allowance to provide access to ceiling and sub-floor space and reinstate on completion	Note			
4 Allowance for sub-floor bracing. Assumes plywood bracing elements on timber blocking to perimeter of sub-floor (internal)	Note			
5 Allowance to upgrade floor diaphragm. All works to be under existing flooring and fixed to underside of existing joists. Assumes good access	Note			
6 Allowance to upgrade ceiling diaphragm. All works to be above existing ceiling and fixed above existing ceiling joists. Assumes good access	Note			
7 No works to existing walls/wall linings	Note	Excl		
8 No works to existing foundations	Note	Excl		
9 The Following works relate directly to the strengthening of the chimneys:-	Note			
10 Site visit/site measure by steel subcontractor	Item	1	1,500.00	1,500.00
11 Preparation of shops drawings for steel works	Item	1	3,000.00	3,000.00
12 Allowance for minor alterations, destructions and making good to chimneys to facilitate the works	PSum	1	2,500.00	2,500.00
13 Allowance for sundry repairs to masonry (Provisional allowance of 3 days including travel)	Item	1	2,200.00	2,200.00
TOTAL GENERAL/OTHER WORKS \$				9,200.00

H2046 CHIMNEY STRENGTHENING



CONCEPT ESTIMATE - 1. CHIMNEY WORKS

Chimney #1

14 Allowance to clean-out and prepare chimney for works

Supply of steel:

15 D10 reinforcing bars

16 70 x 3mm plate

17 75 x 6 EA frame

Fabrication and installation:

18 Off-site fabrication

19 Allowance for working platform on roof

20 Craneage (assume hi-ab)

21 On-site welding and installation

22 Self tapping masonry ties

23 Allowance for timber struts in ceiling space (assume good access)

Chimney #2

24 Allowance to clean-out and prepare chimney for works

Supply of steel:

25 200 dia steel sleeve (weight taken from 193.7 dia 7.1 thick tube)

26 75 x 6 EA frame (assumed frame size to match Chimney #1)

Fabrication and installation:

27 Off-site fabrication

28 Hireage of elevated working platform

29 Craneage (assume hi-ab)

30 On-site welding and installation

31 Self tapping masonry ties

32 12kN steel strapping tied to ceiling diaphragm

	Unit	Qty	Rate	Cost
Item		1	500.00	500.00
kg		26	3.00	78.00
kg		49	5.00	245.00
kg		108	5.00	540.00
Item		1	1,800.00	1,800.00
Item		1	10,000.00	10,000.00
Item		1	1,200.00	1,200.00
Item		1	4,300.00	4,300.00
No		60	12.00	720.00
Item		1	2,100.00	2,100.00
TOTAL CHIMNEY #1 \$				21,483.00
Item		1	500.00	500.00
kg		89	4.00	356.00
kg		53	5.00	265.00
Item		1	900.00	900.00
Item		1	1,200.00	1,200.00
Item		1	1,200.00	1,200.00
Item		1	2,900.00	2,900.00
No		44	12.00	528.00
Item		1	600.00	600.00
TOTAL CHIMNEY #2 \$				8,449.00

H2046 CHIMNEY STRENGTHENING



CONCEPT ESTIMATE - 1. CHIMNEY WORKS

Chimney #3

33 Allowance to clean-out and prepare chimney for works

Supply of steel:

34 D10 reinforcing bars

35 70 x 3mm plate

36 75 x 6 EA frame

Fabrication and installation:

37 Off-site fabrication

38 Allowance for working platform on roof

39 Craneage (assume hi-ab)

40 On-site welding and installation

41 Self tapping masonry ties

Preliminaries & General

42 Lump Sum & Cost related P&G

43 Time Related P&G

Unit	Qty	Rate	Cost
Item	1	500.00	500.00
kg	26	3.00	78.00
kg	49	5.00	245.00
kg	108	5.00	540.00
Item	1	1,800.00	1,800.00
Item	1	10,000.00	10,000.00
Item	1	1,200.00	1,200.00
Item	1	4,300.00	4,300.00
No	60	12.00	720.00
TOTAL CHIMNEY #3 \$			19,383.00
Sum	1	7,200.00	7,200.00
Month	3	11,902.00	35,706.00
TOTAL PRELIMINARIES & GENERAL \$			42,906.00

H2046 CHIMNEY STRENGTHENING



CONCEPT ESTIMATE - 2. ASSOCIATED WORKS

ESTIMATE ELEMENTAL SUMMARY

General/Other Works

Preliminaries & General

Contractors Margin (10%)

Unmeasured Sundries (15%)

TOTAL CONCEPT ESTIMATE - 2. ASSOCIATED WORKS \$

All figures are exclusive of GST unless specifically stated otherwise

Unit	Qty	Rate	Cost
			82,060
			8,200
			13,540
			103,800

CONCEPT ESTIMATE - 2. ASSOCIATED WORKS

- General/Other Works**
- 1 The following works are not directly related to the strengthening of the chimneys, but we understand they are required to be undertaken at the same time. We have shown the cost separately, but have prepared the estimate on the basis that all works are undertaken as one contract:-
 - 2 Allowance for works relocating existing services affected by the works
 - 3 Allowance to provide access to ceiling and sub-floor space and reinstate on completion
 - 4 Allowance for sub-floor bracing. Assumes plywood bracing elements on timber blocking to perimeter of sub-floor (internal)
 - 5 Allowance to upgrade floor diaphragm. All works to be under existing flooring and fixed to underside of existing joists. Assumes good access
 - 6 Allowance to upgrade ceiling diaphragm. All works to be above existing ceiling and fixed above existing ceiling joists. Assumes good access
 - 7 No works to existing walls/wall linings
 - 8 No works to existing foundations

	Unit	Qty	Rate	Cost
	Note			
	Psum	1	2,500.00	2,500.00
	Psum	1	2,000.00	2,000.00
	m	64	220.00	14,080.00
	m2	138	230.00	31,740.00
	m2	138	230.00	31,740.00
	Note	Excl		
	Note	Excl		
TOTAL GENERAL/OTHER WORKS \$				82,060.00
	Note			
TOTAL PRELIMINARIES & GENERAL \$				0.00

5 February 2021



<p style="text-align: center;">MALTBY'S DEFINING COSTS · MANAGING RISK · DELIVERING RESULTS</p>			
Ref		Initials	Date
1	QA Procedures Completed	<i>[Signature]</i>	5/2/21
2	Document Production Check	<i>[Signature]</i>	5/2/21
3	Signed Off – Author	<i>[Signature]</i>	5/2/21
4	Signed Off – Director	<i>[Signature]</i>	5/2/21

Report to: Waimarino-Waiouru Community Board

Meeting Date: 3 June 2021

Subject: Ameku Walkway – Paper Road Access



Purpose of Report

- 1.1 The purpose of this report is to seek permission from the Waimarino-Waiouru Community Board to erect and lock a gate prior to the Ruapehu Mills on Ameku Road, Raetihi to provide for the safety of users of, and put restrictions around access to, the Ameku Road Walkway.

Significance and Engagement, Social Impact

- 2.1 This report does not trigger the Significance Policy. Neighbouring landowners will be consulted to ensure measures are put in place to ensure that they continue to have the access they require to continue their farming practice.
- 2.2 This report triggers the Social Policy. Access to the proposed public walkway is reliant on an agreement being reached to control access to the paper road.

Background

- 3.1 The Ameku Walking Track (**Attachment 1**) was initially opened in January 1993 over an unformed section of Ameku Road in Raetihi, leading up to a lookout point offering exceptional views of the surrounding countryside. Parts of the track deviated from the paper road, crossing adjacent farmland. The owners of the adjacent land at the time accepted this and the track became well used.
- 3.2 With a change of ownership in 1995 the gates were locked and public access discouraged.
- 3.3 In 2015, Council was approached by Raetihi Promotions Charitable Trust seeking assistance to provide outdoor recreational activities to locals and visitors. The Ameku Road walking track was identified as an opportunity to deliver this.
- 3.4 A meeting was held with representatives of the New Zealand Walking Access Commission ('Walking Access'), Council staff and adjacent landowners, with Mayor Cameron advocating for public use of the road to be provided. An agreement was reached in principle.
- 3.5 Further investigation identified that the developing local Mill (owned by Mr Kearns) encroached on the paper road and there were concerns for the safety of future users of the walking track. This resulted in the decision to negotiate a new entrance to the Track by creating an easement, in lieu of using the paper road, across neighbouring land (also owned by Mr Kearns) as shown outlined in red in **Figure 1**, with the approximate route of the easement for the walking track is shown as a green line. The point of encroachment by the Mill on the paper road is shown circled in blue.



Figure 1: Ameku Walking Track Easement

- 3.6 The land owners adjacent to the Track were adamant that the walking track adhere to the paper road. A survey confirmed that (approximately) the first 2km (Stage 1) of the track is located within the paper road and then deviates onto adjacent farmland.
- 3.7 There is a desire to further investigate the feasibility of opening up an extension after the 2km point on the Ameku Walkway, surveying the length of Ameku and Pipipi Road to provide a loop track which would end at Ruatiti Road (Stages 2 and 3). This loop track would further increase the recreational opportunities available within the Waimarino and would be a good addition to the nearby Mangapurua National Cycleway.
- 3.8 In 2018, a public toilet (co-funded by the Ministry of Business Innovation and Employment (MBIE) Tourism Infrastructure Fund, Council and the community) was installed at the entrance of the walking track in anticipation of its development.

Discussion

- 4.1 In 2018, funding of \$5,640 ex GST was granted by the Enhanced Access Fund to contribute to the development of Stage 1 of the Track. Details for the funding is provided in **Table 1**.

Table 1: Enhanced Access Funding

Milestone No.	Activity	Completed by:	Funding allocated GST excl.
1	Easement costs	31 st December 2020	\$4,150
2	Stile, Stage 1A marker posts and signage	31 st December 2020	\$1,490
Total funding			\$5,640

- 4.2 Delays due to objections from adjacent landowners, the Chambers, to vehicles and people with firearms having access to the paper road (potentially leading to poaching of farm stock) led to a request to Walking Access to extend the grant. The extension was approved, giving a new completion date of 31 December 2021.
- 4.3 Mr Kearns, the landowner through which the easement is required, has provided that he is unwilling to sign an easement agreement until opposition from the Chambers (through which a significant portion of the Track runs) has been resolved. Mr Kearns has said that the offer for an easement, should the walkway not proceed, would lapse and therefore he is unwilling

to enter into an easement until the issues around public use of the paper road raised by the Chambers are resolved.

- 4.4 The solution proposed to control access to the paper road is for Council to use the powers in section 344 of the Local Government Act 1974 to erect a gate across the paper road just before the Mill. Section 344(13) of the Local Government Act 1974 declares that the Gates and Cattles Stops Order 1955 continues to apply to gates erected pursuant to powers in section 344, and legal advice, sought by Council, has provided that nothing has been found in that Order that prevents a locked gate being erected. Council, Mr Kearns and adjacent landowners requiring access to the paper road for their farming business could hold keys to the gate.
- A similar situation, with issues around members of the public using road to access land and stock poaching, for Fishers Track in National Park has been successfully resolved in this way.
- 4.5 The easement will provide an alternative walking route for access to the paper road and include conditions around having dogs on a leash and no firearms.
- 4.6 Walking Access NZ have indicated that they would support a locked gate preventing public from entering into the area where machinery crosses the paper road between the two sites for the Mill for safety reasons provided an easement is entered into to provide an alternative walking access.
- 4.7 Completing the easement and work to the track in the timeframes required to secure the funding has put some pressure on resolving the issue around access to the paper road. It is recommended that the Waimarino-Waiouru Community Board approve that a locked gate is erected before the Mill with keys held by Council, the Mill owner and adjacent landowners requiring access to the paper road provided approval is given by the Chambers that this will satisfy their concerns and in turn remove the apparent impediment to Mr Kearns unconditionally agreeing to the easement across his property for the walkway.

Suggested Resolution(s)

- 1 That the report on Ameku Walkway – Paper Road Access be received.
- 2 That the Waimarino-Waiouru Community Board approves/does not approve that a locked gate be erected before the Ruapehu Mill and keys be held by Council, the Mill owner and adjacent landowners requiring access to the paper road for their farming business, provided that approval by the Chambers is given that this will satisfy their concerns and in turn remove the apparent impediment to Mr Kearns unconditionally agreeing to the easement across his property for the walkway.

Julia Fincham
COMMUNITY PROPERTY ASSETS OFFICER

Email address for point of contact: juliaf@ruapehudc.govt.nz

Attachments

- 1 Map - Ameku Walkway

ATTACHMENT 1: MAP- AMEKU WALKWAY



<p>Ameku Road Legal Boundary & Track Formation</p>	Drawn		 <p>Plateau Surveyors Ltd. 43 Clyde Street, OHAKUNE Ph / Fax (06) 385-9333 Mobile 027-201-9000 email office@plateau-surveyors.co.nz</p>	Scale: 1:7000 @ A3																		
	Checked	GP		PS Ref: RP-191201																		
	Drawing	MR		Overall Diagram	<p><small>This drawing and its contents are the property of Plateau Surveyors Ltd. Any unauthorised employment or reproduction, in full or in part, without prior permission is forbidden.</small></p>	For Client	08/06/20	A	GP													
				<table border="1"> <thead> <tr> <th>Revision Record</th> <th>Date</th> <th>Rev</th> <th>App'd</th> </tr> </thead> <tbody> <tr> <td>RP-191201</td> <td>1 of 4</td> <td>A</td> <td></td> </tr> </tbody> </table>	Revision Record	Date	Rev	App'd	RP-191201	1 of 4	A		<table border="1"> <thead> <tr> <th>Drawing Number</th> <th>Sheet</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Drawing Number	Sheet	Revision						
Revision Record	Date	Rev	App'd																			
RP-191201	1 of 4	A																				
Drawing Number	Sheet	Revision																				

Report to: Waimarino-Waiouru Community Board

Meeting Date: 3 June 2021

Subject: Proposed Road Closure: Mardi Gras 2021



Purpose of Report

- 1.1 The purpose of this report is to advise members of the proposed road closure application for the Mardi Gras 2021 event.

Significance and Engagement, Social Impact

- 2.1 Significance**
This report does not trigger the Significance and Engagement Policy.
- 2.2 Social Impact**
This report does not trigger the Social Policy.

Background

- 3.1 Audiology Touring Limited have applied for temporary road closures to hold the Mardi Gras event on the Village Green adjacent to Thames Street, Ohakune.
- 3.2 The application was received on 28 April, seven and a half weeks before the event, so application timeframes have been met.
- 3.3 The Mardi Gras event will be held on Saturday 19 June 2021.
- 3.4 Expected crowd numbers are 8,000.

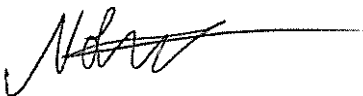
Discussion

- 4.1 The proposed road closures fall under the Local Govt. Act 1974 Sec 342 Schedule 10 and are as follows:
- (a) Part of Thames Street from Mangawhero Terrace, 16/06/21, 9am to 20/06/21, 6pm, one lane closure
 - (b) Thames Street from Mangawhero Terrace to Rimu Street, 17/06/21, 10pm to 18/06/21, 6am, full closure
 - (c) Thames Street and Rimu Street, 18/06/21, 10pm to 19/06/21, 8am, full closure
 - (d) Thames Street, Tyne Street, Rimu Street and Uthia Place 19/06/21, 8am to 20/06/21, 6am, full closure
- 4.2 The Traffic Management Plan has been approved.
- 4.3 Police and Waka Kotahi NZ Transport Agency have approved the proposed closure.
- 4.4 A public liability insurance certificate covering the event date has been received.

- 4.5 Controlled road closure points will have marshals to allow resident access to their properties throughout the duration of the event.
- 4.6 Council's Traffic Management Co-ordinator will be in attendance to audit the road closures and ensure everything is completed correctly
- 4.7 The proposed closure was advertised in the Ruapehu Bulletin on Wednesday 5 May 2021 and posted on the Council Facebook page on the same date.
- 4.8 Any person affected by the closure had until 4pm on Wednesday 19 May to lodge their notice of objection to the Council, in writing.
- 4.9 One objection was received and is being worked through currently. The outcome of this will be advised at the meeting.
- 4.10 The final road closure information will be advertised in the Ruapehu Bulletin on Wednesday 9 June 2021.

Suggested Resolution(s)

- 1 That the report on Proposed Road closures: Ohakune Mardi Gras 2020 be received.
- 2 The Waimarino-Waiouru Community Board approves/does not approve the following Road Closures for the 2020 Mardi Gras:
 - (a) Part of Thames Street from Mangawhero Terrace, 16/06/21, 9am to 20/06/21, 6pm, one lane closure
 - (b) Thames Street from Mangawhero Terrace to Rimu Street, 17/06/21, 10pm to 18/06/21, 6am, full closure
 - (c) Thames Street and Rimu Street, 18/06/21, 10pm to 19/06/21, 8am, full closure
 - (d) Thames Street, Tyne Street, Rimu Street and Uthia Place 19/06/21, 8am to 20/06/21, 6am, full closure



Nikki Fieldes
TECHNICAL SERVICES COORDINATOR

Email address for point of contact: andea.nicol@ruapehudc.govt.nz

Report to: Waimarino-Waiouru Community Board

Meeting Date: 3 June 2021

Subject: Capital Works and Members Request for Information



Purpose of Report

- 1.1 The purpose of this Report is to provide an update on the planned capital works and other items of interest in the Waimarino-Waiouru Community Board area in 2020/21.

Significance and Engagement

- 2.1 This report does not trigger the Significance and Engagement Policy.

Discussion

3.1 WORKS

- 3.1.1 The list is a combination of contracted items and other items that Members have displayed an interest in. Other items can be added to the list on request.

3.2 ROADING

	Subject	Action taken	Target Completion
R1	Mangateitei & Railway Over Bridge Replacement	<p>Bridge is restricted to 70% Class 1. Camera has been ordered to install for monitoring. It will have ability to recognise number plates.</p> <p>Replacement of bridge has been included in 2021/24 application to Waka Kotahi and Council's draft Long Term Plan 2021-2031 and is awaiting outcomes.</p> <p>Recommendation to be put forward to Council that they approve the work.</p> <p>Indicative funding decisions are expected from Waka Kotahi at end of April, with final approvals communicated in September 2021.</p>	<p>Camera installation Apr – Jun 2021</p> <p>Waka Kotahi indicative decision May / June 2021</p> <p>WK final decision September 2021</p> <p>Bridge June 2022 (dependant on funding)</p>
R2	Pavement Rehabilitation	<p>Rimu Street seal extension: Jilesen Group establishing site and beginning earthworks this month. This site was sealed on 24 May, along with the end of Tawhero Street.</p>	Complete
		<p>Ohakune Mountain Road RP 13km: Has been asphalted and line marked.</p> <p>Run out areas will not be sealed but left to revegetate as per our ongoing Memorandum of Understanding with Department of Conservation. Chip left in kerb will be removed once AC is laid.</p> <p>Slumping above the hairpin is occurring as the hillside is slowly moving. Guardrail and gabion work in the new financial year will address this.</p>	<p>Complete</p> <p>Note</p> <p>Note</p>

	Subject	Action taken	Target Completion
R3	Wilding Vegetation	Council is carrying out some tree removal with the Worker redeployment funding approved from the Provincial Development Unit throughout the District.	Complete
R4	Ruapehu Road Rail Overbridge replacement	<p>Bridge is restricted to 5,000T. Three step campaign to address overloading</p> <ol style="list-style-type: none"> 1. Camera has been ordered to install for monitoring. It will have ability to recognise number plates. 2. Section of Ruapehu Road is now restricted for heavy traffic under Land Transport Bylaw 3. Implement physical barrier to restrict traffic to light vehicles or pedestrians and cyclists is complete. <p>Replacement of bridge has been included in 2021/24 application to Waka Kotahi and Council's draft Long Term Plan 2021-2031 and is awaiting outcomes.</p> <p>Recommendation to be put forward to Council that they approve the work.</p> <p>Indicative funding decisions are expected from Waka Kotahi at end of April, with final approvals communicated in September 2021.</p> <p>It was requested that when the new cameras are advertised in the Ruapehu Bulletin, that the reason for lowering the weight tolerance be communicated.</p>	<p>Camera installation Apr – Jun 2021. In progress.</p> <p>One camera has been installed on Ruapehu Road.</p> <p>Additional cameras have arrived and will be installed in June.</p> <p>Article in Ruapehu Bulletin - complete</p> <p>Waka Kotahi indicative decision May / June 2021</p> <p>WK final decision September 2021</p> <p>Bridge June 2022 (dependant on funding)</p>
R6	Minor Improvements	<p>Clyde's Access ford approach seal completed.</p> <p>Clyde's / Matapuna Road intersection seal completed.</p> <p>Makino Road intersection and bridge approach to be sealed.</p>	June 2021
R7	Crossing points, State Highway 1, Waiouru	<p>Discussion with Waka Kotahi NZ Transport Safety Manager in September 2020 regarding the four potential crossing points.</p> <p>Waka Kotahi are considering crossing points outside Z Petrol station and Rustic as well as retrofitting the existing crossing outside Oasis.</p> <p>This work will be subject to funding and may need to be staged over a number of years. The Agency is hopeful that some work may be able to be carried out this year, using unspent funds.</p> <p>The priority is to retrofit the existing Oasis crossing, then install the one outside Z, then Rustic last.</p> <p>That will give a crossing point at both ends of town and in the middle.</p> <p>The form of crossings are being considered by Waka Kotahi.</p> <p>Some parks will need to be removed when the new crossings are installed. Council may need to extend footpaths in the vicinity.</p>	Waka Kotahi has requested funding for 21/24 block

	Subject	Action taken	Target Completion
		<p>Advice in March 2021 is that COVID lockdowns have had a large impact on Waka Kotahi revenue. This project will not be able to occur in this financial year.</p> <p>Additionally, the crossings will be dependent on the outcome of the speed limit review in R8.</p>	
R8	Speed limits – Raetihi, Ohakune and Waiouru	<p>Waka Kotahi are reviewing State Highway 4 at present for consistency. They have indicated that the timeline for public consultation may be in first half of 2021. This may be subject to change.</p> <p>The areas for change that Ruapehu is advocating for are:</p> <ul style="list-style-type: none"> • Ohakune - extension of 50km/hr speed limit on SH49 east of Ohakune to Ruapehu Road. • Raetihi – extension of 50km/hr speed limit to south of Raetihi • Waiouru – lowering of 70km/hr speed limit through ‘main street’. <p>Advice in March 2021 is that the timeline has moved out for the speed limit review. It is tentatively expected in second half of 2021.</p>	Consultation tentatively expected in second half of 2021
R9	Petition to install speed bumps in Pipiriki	<p>Speed counters were installed by the playground for a fortnight in July. They recorded speeds between 7 am and 7 pm.</p> <p>It was found that the average speed was 38km/hr, with 85% of vehicles travelling below 52km/hr.</p> <p>There are 120 vehicles per day on the road and the narrow alignment helps to provide a slower environment.</p> <p>In order to maintain the slow speed environment, we recommended that threshold fences be installed on Pipiriki Raetihi Rd and Whanganui River Road with “Slow Tamariki” signs.</p> <p>Speed bumps are not recommended as the roads are collector roads and on a slope. There isn’t enough site distance to allow traffic to slow in time.</p> <p>This was presented at the Pipiriki Community Hui on 8 October.</p> <p>The threshold treatment has been installed..</p>	Complete
R10	Waiouru Truck Parking	<p>Member’s request to consider providing for trucks that park in Waiouru off Rangipo Street. Officers are considering the idea of including this as a project in the Long Term Plan 2021/31, with investigation funding in 2021/22. Project would likely need to be funded with a partner.</p>	Funding request complete
R11	Mangaehuehu Bridge sign	<p>Bridge sign is incorrectly spelled on one name plate. Request passed on to Waka Kotahi in September 2020, followed up in February 2021 and again in March 2021</p>	Date to be advised from Waka Kotahi
R12	Speed of vehicles	<p>Speed limit heading off Mountain Road and into the Junction. This can be a dangerous area and the</p>	Complete

	Subject	Action taken	Target Completion
	passing through Ohakune Mountain Road Junction	installation of judder bars or a slowdown sign should be investigated. '50km/hr ahead' signs have been installed prior to passing Ngati Rangi office for downhill traffic.	
R13	Verge damage Mangawhero Terrace Extn & Shannon St.	Investigation into options to address truck parking issues on Mangawhero Terrace extension causing verge damage. Parking bay to be installed next to Extn and fenced to stop further encroachment. Monitor on Shannon Street. <i>6 May 2021: Officers undertook to present a concept design to the Board</i>	Design: June 2021 Work: Jul 2021
R14	Seddon Street uneven surface and Raetihi Ohakune Road surface issues	Pavement repairs were carried out on Raetihi Ohakune Road. The digouts between the bridge and the Marae were sealed with a sacrificial seal to enable the road to be used for a Tangi. The contractors returned after the long weekend and re-stabilised and sealed the site at no cost to Council. Priority repairs on Seddon Street were also stabilised and sealed as programmed.	Complete
R16	Response to query on fibre broadband installation at Raetihi	Member of public queried the methodology for Raetihi (over land vs underground). The response is that works in the road corridor will be laid underground. Private connections will be like for like, as they are throughout the District.	Complete

3.3 ENVIRONMENTAL

	Subject	Action taken	Target Completion
E1	Flood Modelling River Works	Horizons is undertaking flood modelling work in Ohakune to update the last report completed in 2010. This will assist Council in planning for upgrades to the stormwater network and identify issues with flood control which is the responsibility of Horizons.	December 2021 HRC consultation in Ohakune
E2	Government Freshwater Improvement Fund	RDC has submitted an application to the new Government Freshwater Improvement Fund for the upgrade of Ohakune and Raetihi Wastewater Treatment Plants (WWTPs), and for support of the Whangaehu Catchment Accord (a group established to protect and enhance the Whangaehu water catchment). RDC is one of many applicants from around the country. The catchment was successful at getting some funding through the Regional Council. The Nga Wai Ora O Te Whangaehu Freshwater Improvement project will cost \$1.68 million, with \$590,000 secured Freshwater Improvement Funding from MFE over three years: for 60 km fencing to prevent stock access, riparian planting of 12,000 native plants, five fish pass repairs and 10 community-led restoration projects. Horizons have signed with the government to uplift the money and spend it over the next three years. The Government agreement requires a governance group and Mayor Don Cameron is council's representative on this group. The quality of the project was very high and they had some ambitious goals. The governance group met and allocated funding to community groups against their criteria. The first governance reports have been submitted to MFE and expected targets have been met. Ruapehu continues to co-ordinate the wider	June 2021

	Subject	Action taken	Target Completion
		Whangaehu Catchment group and are gathering information around works being undertaken in the catchment. A Governance meeting which covered the actions against targets for Riparian fencing, planting, fish pass improvements and community projects. Projects goal appear to be on track. The work programmed has been split across three years so there remain opportunities for more work across all the categories so please spread the word to those who might wish to participate. In general the works programme is being delivered to budget. Horizons Regional Council have established a Whangaehu Catchment group.	
E3	Visitor Infrastructure Funding	Council has funding for a feasibility study of a joint wastewater treatment plant between Ohakune and Raetihi with Land passage. This will provide for the increasing environmental requirements being signalled by the Government. The feasibility study funding has been accepted by Government. At this stage, funding has been allocated for GHD to undertake a feasibility study for a combined WWTP for Raetihi and Ohakune. Land parcel options to be presented to project steering group 23 September then to Iwi and stakeholders. Awaiting feedback from local Iwi. Waters have earmarked funding to undertake feasibility study for vermiculture (worm farming) in the area. The final report is in draft, awaiting response from interested parties.	June 2021
E4	Ohakune Water Intake	Council has applied to the Tourism Infrastructure Fund for the funding part of the plant. Council has secured funding and has consulted with the Community as part of the requirements. The first stage of planning for the upgrade of the Ohakune Water Treatment Plant has commenced with GHD drawing up a procurement plan. Veolia to develop and design. A site visit to the Ohakune raw water intake site was planned Construction has not started. New resource consents required for additional reservoir and water intake increasing project costs and impacting delivery timeline. Traverse Environmental are working on the resource consent for this site and the water intake that is currently located within the Tongariro National Park. Ohakune Water Treatment Plant upgrade – construction is yet to start. Ongoing negotiations between GHD, RDC Veolia including site expansion. Cheal Consultants have become involved to prepare the first stage of civil works for this site. Morrison Low are undertaking a review of the update to the plant. A Project Officer has been assigned to investigate the issues with installing water meters across Ohakune township, as per the condition of receiving MBIE funding for the water treatment plant upgrade. This is a large body of work and would usually take 3 – 4 years to complete. Department of Conservation looking into their archives to find any records of the Intake being gifted back from the Borough Council. Awaiting feedback from DoC.	June 2021
E5	New Zealand Defence Force	The New Zealand Defence Force in Waiouru is also working toward a new Water Safety Plan and Council has been invited to assess its risk matrix development, providing input around the Waiouru township reticulation works. Council attended a meeting in December to further the water safety plan and discuss general works between the organisations. High-level discussions around levels of	June 2021

	Subject	Action taken	Target Completion
		service for the whole community of Waiouru (public and army) were held. NZDF are in the process of seeking a new resource consent for the abstraction of water. Council is providing assistance with this process. Pattle Delamore Partners are working with NZ Defence Force on upgrades to the water supply network and water treatment plant at the Waiouru Military Base. The work is in the preliminary design stage and includes a second outflow from the base water treatment plant to the township that increase redundancy and security of supply. A replacement water meter to be installed on the outflow of the WTP. The NZDF also intend to upgrade their WWTP. September 2020 water meter replaced for the town supply, works undertaken on the water intake dam and conditional assessments of water meters completed. Recent operational issues experienced at this plant with sewer overflows. Combined site visit Waters and Veolia being arranged. Preliminary works have been completed including new meters and upgrading the connection. No update regarding a second outflow.	
E6	Ohakune Wastewater Treatment Plant	Repairs have commenced including ammonia treatment upgrade, baffle curtains and the outlet point has been moved to a location that will work better hydraulically.	

3.4 COMMUNITY PROPERTY

	Subject	Action taken	Target Completion
C1	Re-pile Ohakune Railway Station	Building assessed by AECOM as being below 34%NBS and therefore requires earthquake strengthening. Detailed Seismic Assessment carried out by Miyomoto with assistance of Conservation Architect indicates chimneys, subfloor and ceiling bracing needs strengthening and canopy connections and connections between piles and bearers need checking. Cost Estimate for strengthening completed. Report is being prepared and will come to May WWCB meeting. Report near completion but had to be delayed to June meeting due to staffing changes. Report this meeting.	July 2022
C2	Raetihi Revitalisation: Community Hub	Preparing for roll out of communications and community engagement and consultation. Participation and connection with community at Raetihi Christmas Parade went very well and the remainder of the consultation phase of the project will be ramped up from early 2021. Consultation has been underway in the first part of 2021. Cathy McCartney will be present at meeting on 8 April 2021. Cathy McCartney held workshop with WWCB on 8 th April.	July 2023
C3	Ohakune Swimming Pool Ablutions Block	Budget of \$30,000, WWCB approved use of budget as seed funding for larger upgrade to Ohakune pool complex on 7 March 2019. Community Leisure Management (CLM), have offered to meet with both Ohakune and Raetihi community representatives and develop concept plan for both pools. Covid impacted the ability of CLM to progress the feasibility study however they remain confident that they can produce a good independent study for the community to consider. Update report at this meeting. CLM have advised that unfortunately due to	July 2025

	Subject	Action taken	Target Completion
		impact of COVID-19 on their business the feasibility study will need to be outsourced. Seeking quotes for consultant to undertake feasibility study. Quotes for feasibility study received. Application to Lotteries Funding will be made. Decision due December 2021	
C4	Parapara Road Reserve Development	Budget available of \$10,000 to be allocated by WWCB after discussions with community. Proposal by Raetihi Promotions for number of art projects along walkway was approved subject to a plan being provided to WWCB for funding required to complete the project. Raetihi Promotions have discarded proposal as further funding has not been secured. Have asked for update from Raetihi Promotions for proposal for use of funds. Raetihi Promotions are working on some ideas for use of these funds.	July 2021
C5	Tangiwai Reserve Development	Budget of \$15,000 for the ongoing development of the reserve, as required by the Tangiwai Committee. A series of meetings have been held to discuss landscape designs. No progress expected until external funding is gained. Rebecca briefed Julia on this project.	July 2023
C6	Park Ave Reserve	Possibly to become part of subdivision process with costs borne by developer. Water engineer has approved design for disposal of stormwater to swamp area on Reserve and approval has been provided to developer to undertake work at their cost. Maintenance will be responsibility of developer for first 2 years. Easement to be created over Reserve at applicants cost. Wetland planting to be completed by developer.	July 2021
C7	Raetihi Holiday Park Ablution Block	Stormwater disposal works have been completed. Landscaping and formation of car parks to be scoped and costs estimated prior to end of financial year so that budget can be allocated. GHD to meet with Holiday Park managers to discuss scope for driveway.	July 2022
C9	Raetihi Cemetery Extension	New site is expected to be selected by completion date. Budget to purchase land (if necessary) is in the 2021/22 financial year. Council to meet with iwi.	July 2021
C10	Ruatiti Domain Toilet Upgrade	Awaiting plans of cycleway toilets to compare with other options. Quotes have been received. Tourism Infrastructure Funding has reopened – Application being submitted by end of April to assist with cost of toilet installation. Funding application submitted.	December 2021
C11	Waiouru Playground	NZ Police have agreed to a lease to use part of area behind public toilets. Community Consultation to be completed to confirm this as desired location. Community fed back concerns around traffic safety in area around public toilets. GHD approached to provide idea of space required for further parking. Playground supplier to provide concept of what equipment could fit in this space. Concept for spacing of equipment and Car parking requirements received & to be evaluated.	July 2021
C12	Raetihi swimming pool	Added by request of WWCB. CLM are developing a proposal for the future of the Raetihi pool and a draft feasibility study is in the process of being prepared (see above “Ohakune Swimming Pool Ablution Block”). Agenda Item 6 May 2021. Update report at this meeting. CLM have advised that unfortunately due to impact of COVID-19 on their business the feasibility study will need to be outsourced. Seeking quotes for consultant to undertake feasibility study. Quotes for feasibility study	July 2025

	Subject	Action taken	Target Completion
		received. Application to Lotteries Funding will be made. Decision due December 2021	
C13	Ohakune Junction	Mangawhero Walkway exit onto Old Station Road to be realigned for safety of walkers crossing road. Atihau has approved extension of walkway along road reserve heading west down Old Station Road for 30m on condition Council provides information panel and pou at either end of walkway. Atihau to progress designs for information panel and pou. Excavation to realign walkway & metalling completed. Fencer due beginning May. Fencer delayed. New timeframe first week June.	July 2021
C14	Accessible Walkway 2020/21	\$16,874.36 awarded to Ohakune Carrot Adventure Park Trust (OCAPT) for extension of walkway at Carrot Park and \$6,521.36 to Raetihi Promotions Charitable Trust (RCPT) to continue Makotuku Walkway. Outstanding \$1,555.36 for Makotuku Walkway to be taken from Parks & Reserves Budget and residual money of \$4,361.09 to be used to fund difference. Funds provided to OCAPT and extension of Ohakune Carrot Park walkway underway. First section of walkway at Carrot Park completed. The base of the next section has been prepared and the paths will be laid sometime soon. Contractor has commenced work on extension of Makotuku Walkway. Extension work for Makotuku Walkway completed. Boxing for second section of walkway at Carrot Park completed.	June 2021
C15	Ohakune Drinking Fountains	\$10,000 available in 2020/21 Financial year. Rebecca has briefed Julia on this project. One fountain to be located outside isite. Location for second fountain being considered. Suggested locations Ohakune i-site, Christie Park, Raetihi pool, Carrot Park, Waiouru playground, Raetihi rugby club, Ohakune rugby club, Ohakune pool, Ohakune Junction	June 2021
C16	Seal Ohakune Flats Driveway	Job placed on hold until outcome of Community housing hui known.	June 2021
C18	Shade at Miro Street Park	To consider as part of a wider project for all parks and reserves.	2022

3.5 OTHER ITEMS

	Subject	Action Taken	Target Completion
O1	Future of Taumarunui Landfill	Actions over June have been finalising food waste bin and compostable liner purchasing. Target delivery is liners in August with bins now scheduled for first week in September after which roll out to householders on kerbside collection. Still awaiting to hear from funding application for hot composting unit from Ministry of Environment but preparations for construction in progress. Information on changes in service being prepared for brochure distribution and communication through all channels over August and September. New contracts on track to commence 5 October with closure of landfill 4 October. Information on new services will be in an information brochure to be dropped in all letterboxes mid September. Dates have now been confirmed for the commencement of the new kerbside collection for both pink bags, recycling and food waste. These will be advertised through all channels including a	Taumarunui Landfill now closed with new contracts in place and operating for kerbside collections and transfer station operations. 2021 focus will be on education and waste minimisation

	Subject	Action Taken	Target Completion
		brochure delivered with the new food waste bins scheduled for the weekend of 10 and 11 October. The new kerbside pick up days for pink bags, recycling and foodwaste bins will start from 19 th October. The closure of the current active landfill cell on 4 October will result in Taumarunui site becoming a Transfer Station only with the main change being disposal of rubbish at a new transfer facility which is a concrete pad with bunkers. Waste disposal fees also increase from 5 October 2020. There will be no change to the current free disposal of recycling, steel, cardboard etc.	
O2	Ore Ore Slip	In November 2017, Whanganui District Council was contacted by a local landholder about a slip threatening to block the Mangawhero River at Matahiwi. A webcam was installed by Horizons so real-time monitoring could occur. Horizons installed a low flow-monitoring device at the Matahiwi Track bridge so if the slip was to come down the monitoring device would trigger. The device automatically warns Council, police, upstream and downstream property owners via cell or landline. The major threat would be the YMCA camp downstream and plans are in place for the camp. It is now a wait and see situation. This has slowly failed but is letting water through. The state highway 4 slip is monitored separately through NZTA.	Ongoing
O3	Security Cameras	RDC have been unable to get a commitment or resolution from TLC on the mounting of CCTV equipment to their poles. The IT manager met with the local police and Alpine security on the 18 th of February to discuss and finalise requirements for a quotation for the work to be carried out. RDC. RDC followed up with Alpine Security 17 May - still awaiting a quote from Alpine security to review before discussing with Police and Trust	Ongoing:

Suggested Resolution(s)

That the Report on Capital Works and Members' Requests for Information be received.



Clive Manley
CHIEF EXECUTIVE

Report to: Waimarino-Waiouru Community Board

Meeting Date: 3 June 2021

Subject: Resolution to Exclude the Public for Consideration of Board Business



Purpose of Report

- 1.1 Section 48 of the Local Government Official Information and Meetings Act 1987 gives the Board the right by resolution to exclude the public from the whole or any part of the proceedings of any meeting on one or more of the grounds contained within that Section.

Significance and Engagement

- 2.1 Nothing in this report triggers the Significance and Engagement Policy.

Suggested Resolutions

- 1 That the report on Resolution to Exclude the Public for Consideration of Board Business be received.
- 2 That the public is excluded from the following part of the proceedings of the meeting.
- 3 That the general subject of each matter to be discussed while the public is excluded, the reason for passing the resolution in relation to each matter and the specific grounds under Section 48(1) of the Local Government Official Information and Meetings Act 1987 for the passing of this resolution are as follows:

General Subject of each matter to be considered	Reason for passing this resolution in relation to each matter	Ground(s) under S48(1) for passing this resolution
C1: Confirmation of Public Excluded Minutes: 6 May 2021	The reason(s) for excluding the public is/are recorded in the Public Business Minutes of the meeting.	48(1)(a)
C2: Confidential Briefing	Enable any local authority holding the information to carry on, without prejudice or disadvantage, negotiations (including commercial and industrial negotiations). To maintain the effective conduct of public affairs through the free and frank expressions of opinions by, or between, or to members of or officers or employees of any local authority, or any persons to whom Section 2(5) of the Local Government Official Information and Meetings Act 1987 applies, in the course of their duty. To protect the privacy of natural persons.	

This resolution is made in reliance on Section 48(1)(a) of the Local Government Official Information and Meetings Act 1987 and the particular interest or interests protected by Section 6 or Section 7 of that Act or Section 6 or Section 7 or Section 9 of the Official Information Act 1982 as the case may require are listed above.


Tasha Paladin
GOVERNANCE OFFICER